

Greensboro LDO Project

Module 2A: Zoning Districts & District Standards

CAT / Council Review Draft

July 7, 2006

Notes to Reviewers:

Due to the substantial amount of material to be covered in Module 2, it has been divided into two parts to reduce the burden on the CAT / Council that may be caused by tackling the whole thing at once. Module 2A addresses Zoning Districts and district development standards and requirements. Module 2B addresses permitted uses and use development standards.

As with all portions of this ordinance, revisions and changes in one part of the LDO may require changes in other portions of the LDO.

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MODULE 2A

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Editor's note: Some districts have been renamed. The new names better indicate the character of development accommodated by the district. For example, "MU" indicates that it is intended for mixed use development and "C-" indicates districts intended for primarily commercial uses (as opposed to industrial or residential).

30-6-1 Establishment of Districts

30-6-1.1 General Zoning Districts and Overlay Districts

The following zoning districts are hereby established, and are intended to implement the City of Greensboro Comprehensive Plan. District titles are intended to convey general land use, maximum density, or development intensity, but the dimensional standards for each district will determine the actual density able to be built on a particular site.

Symbol	District Title	Former Districts
THE TABLE DOES NOT DEPICT THE NEW ZONING DISTRICT DESIGNATION FOR ALL PROPERTIES. AN EVALUATION OF PROPERTIES AND USES WILL NEED TO BE CONDUCTED PRIOR TO REMAPPING.		
For Example: All properties currently zoned GO-M may not translate directly to MU-M; therefore additional review of certain cases may be required.		
Residential Districts		
R-3	Residential Single Family 3	AG- Agricultural District
		RS-40 Single Family
		RS-30 Single Family
		RS-20 Single Family
		RS-15 Single Family
		RS-12 Single Family
R-5	Residential Single Family 5	RS-9 Single Family RS-7 Single Family
R-7	Residential Single Family 7	RS-5 Single Family
RM-5	Residential Multifamily 5	RM-5 Multifamily
RM-8	Residential Multifamily 8	RM-8 Multifamily
RM-12	Residential Multifamily 12	RM-12 Multifamily

30-6-1: Establishment of Districts

RM-18	Residential Multifamily 18	RM-18 Multifamily
RM-26	Residential Multifamily 26	RM-26 Multifamily
RM-40	Residential Multifamily 40	New District
Mixed Use Districts		
MU-L	Mixed Use- Low	LO, Limited Office
MU-M	Mixed Use- Medium	GO-M General Office- Moderate Intensity
MU-H	Mixed Use- High	GO-H General Office- High Intensity
Public and Institutional		
PI	Public and Institutional	Unchanged
PNR	Parkland and Natural Resource Areas	New District
Commercial Districts		
C-N	Commercial- Neighborhood	NB, Neighborhood Business
C-L	Commercial- Low	LB, Limited Business
C-M	Commercial- Medium	GB, General Business HB, Highway Business
C-H	Commercial- High	SC, Shopping Center
CB	Central Business District	CB, Central Business
Industrial Districts		
OBP	Office and Business Park	CP, Corporate Park
LI	LI, Light Industrial	Unchanged
HI	HI, Heavy Industrial	Unchanged
Special Districts		
PUD	Planned Unit Development	Planned Unit Development- Residential Planned Unit Development- Mixed Planned Unit Development- Infill
TN	Traditional Neighborhood	TN-1, Traditional Neighborhood
Overlay Districts (Suffix appended to base district)		
-AC	- Activity Center Overlay	New Overlay District
-DDO	- Downtown Design Overlay	New Overlay District
-HDO	- Historic District Overlay	HO, Historic Overlay District
-NCO	- Neighborhood Conservation Overlay	New Overlay District
-PSO	- Pedestrian Scale Overlay	PSOD, Pedestrian Scale Overlay District
-SCO SCO-1 SCO-2 SCO-3 SCO-4	- Scenic Corridor Overlay	SCOD, Scenic Corridor Overlay District SCOD-1 SCOD-2
-AO	- Airport Overlay	AO, Airport Overlay District
-MHO	- Manufactured Housing Overlay	MH, Manufactured Housing Overlay District

30-6-1.2 Parallel Conditional ~~Zoning~~ Districts

A parallel Conditional ~~Zoning~~ District is a zoning district in which the potential permitted use or uses are, except as limited by the conditions imposed on the district, of the same character or type as the use or uses permitted in a General Zoning District having a parallel designation or name (see Section 30-6-8, Conditional District Intent Statement). A Conditional ~~Zoning~~ District, bearing the designation CD, is hereby established as a parallel district for every district established in the table above. The review process established in Section 30-4-5.5 (Zoning Map Amendments- Conditional Districts) provides for reclassification of property into a Conditional District, subject to specific conditions, which ensure compatibility of the use with the neighboring properties. These districts are CD-AG, CD-RS-40, CD-RS-30, CD-RS-20, CD-RS-15, CD-RS-12, CD-RS-9, CD-RS-7, CD-RS-5,

~~CD-RM-5, CD-RM-8, CD-RM-12, CD-RM-18, CD-RM-26, CD-LO, CD-GO-M, CD-GO-H, CD-NB, CD-LB, CD-GB, CD-HB, CD-CB, CD-SC, CD-CP, CD-LI, CD-HI, and CD-PL. All regulations which that apply to a General Zoning District shall also apply to the parallel Conditional Zoning District.~~

30-6-2 Residential District Intent Statements

30-6-2.1 **R- Residential Single Family Districts**

The general intent of the Residential Single Family districts is to accommodate single family detached dwellings and twin homes with compatible design standards. The number in the district title represents the approximate density per acre, however, actual development densities will vary based on district dimensional standards (and other Ordinance requirements) and the unique characteristics of the development site.

~~RS-20 Residential Single Family District~~

~~The RS-20, Residential Single Family District is primarily intended to accommodate low to moderate density single family detached dwellings in developments where public sewer service is required. The overall gross density in RS-20 will typically be 1.9 units per acre or less.~~

(A) **~~R-3~~RS-15 Residential Single Family 3 District**

~~The R-3-RS-15, Residential Single Family District is primarily intended to accommodate low moderate density single family detached and attached (twin home) dwellings in residential development. developments where Public water and sewer service is required. The overall gross density in RS-15 R-3 will typically be 2.53 units per acre or less.~~

~~RS-12 RESIDENTIAL SINGLE FAMILY DISTRICT~~

~~The RS-12, Residential Single Family District is primarily intended to accommodate moderate density single family detached dwellings in developments where public water and sewer service is required. The overall gross density in RS-12 will typically be 3.0 units per acre or less.~~

~~RS-9 RESIDENTIAL SINGLE FAMILY District~~

~~The RS-9, Residential Single Family District is primarily intended to accommodate moderate to high density single family detached dwellings in developments where Public water and sewer service is required. The overall gross density in RS-9 will typically be 4.0 units per acre or less.~~

(B) **~~R-5~~RS-7 Residential Single Family 5 District**

~~The RS-7R-5, Residential Single Family District is primarily intended to accommodate high low-density single family detached and attached (twin home) dwellings in residential developments where Public water and sewer service is required. The overall gross density in RS-7R-5 will typically be 5.0 units per acre or less.~~

(C) **~~RS-5~~R-7 Residential Single Family 7 District**

~~The RS-5R-7, Residential Single Family District is primarily intended to accommodate high density low-to-moderate single family detached and attached (twin home) dwellings in residential developments. The overall gross density in RS-5-7 will typically be 7.0 units per acre or less.~~

30-6-2.2 **RM- Residential Multifamily Distrcits**

The primary intent of the residential multifamily districts is to accommodate multifamily residential development (duplex, triplex, townhouse, multifamily). The number in the district title represents the approximate density per acre, however, actual development densities will vary based on district dimensional standards (and other Ordinance

requirements) and the unique characteristics of the development site. In the following districts the number refers to the maximum number of dwelling units per acre (after the first acre). Public water and sewer service is required in all districts.

(A) RM-5 Residential Multifamily 5 District

The RM-5, Residential Multifamily District is primarily intended to accommodate duplexes, twin homes, townhouses, cluster housing, and similar residential uses at a density of 5.0 units per acre or less.

(B) RM-8 RESIDENTIAL MULTIFAMILY 8 DISTRICT

The RM-8, Residential Multifamily District is primarily intended to accommodate duplexes, twin homes, townhouses, cluster housing, and similar residential uses at a density of 8.0 units per acre or less.

(C) RM-12 Residential Multifamily 12 District

The RM-12, Residential Multifamily District is primarily intended to accommodate multifamily and similar residential uses at a density of 12.0 units per acre or less.

~~RM-18 RESIDENTIAL MULTIFAMILY DISTRICT~~

~~The RM-18, Residential Multifamily District is primarily intended to accommodate multifamily uses at a density of 18.0 units per acre or less.~~

(D) RM-26 Residential Multifamily 26 District

The RM-26, Residential Multifamily District is primarily intended to accommodate multifamily and similar residential uses at a density of 26.0 units per acre or less.

(E) RM-40 Residential Multifamily 40 District

The RM-40, Residential Multifamily District is primarily intended to accommodate mixed use and multifamily residential development in Activity Centers (see Generalized Future Land Use Map), transit centers, and along major thoroughfares. Single family homes, duplexes, and twin homes are not permitted.

30-6-3 Mixed Use District Intent Statements

The MU- districts are intended to accommodate a rich mixture of complimentary land uses that include housing, retail, offices, commercial services, and civic uses, to create economic vitality, encourage the linking of trips, and emphasize pedestrian activity over the automobile. Individual buildings, as well as overall developments must be designed to provide commercial and mixed use areas that are safe, comfortable, and attractive to pedestrians and must include an integrated network of sidewalks, trails, and other paths. Buildings should be positioned towards the street and building entrances should be oriented to reinforce streets as public places that encourage pedestrian and bicycle travel into and throughout the development (as opposed to designs that require multiple vehicle trips to access the various parts of the development). Parking lots should be secondary on the site, and parking requirements may be reduced if certain criteria are met. Uses and developments oriented towards the automobile are discouraged. Mixed use zoning should provide transitions between areas of higher intensity and traffic and lower intensity residential neighborhoods.

~~The LO, Limited Office District is primarily intended to accommodate low intensity medical, professional, administrative, and government office uses on small to mid-sized sites near residential areas.~~

30-6-3.1 MU-L Mixed Use Low ~~GO-M General Office~~ Intensity District

The ~~GO-M, General Office~~MU-L, Mixed Use Low Intensity District is primarily intended to accommodate moderate intensity office and institutional uses, moderate density residential uses ~~at a density of 12.0 units per acre or less~~, and supporting service and retail uses.

30-6-3.2 MU-M Mixed Use Moderate ~~GO-H General Office High~~ Intensity District

The ~~GO-H, General Office~~MU-M Mixed Use High-Moderate Intensity District is primarily intended to accommodate ~~moderate-to-high~~ intensity office and institutional uses, medium intensity retail and service uses, and high-moderate density residential uses ~~at a density of 26.0 units per acre, or less~~, and supporting service and retail uses.

30-6-3.3 MU-H Mixed Use High Intensity District

The MU-H Mixed Use High Intensity District is primarily intended to accommodate a rich mixture of high intensity office and institutional uses, high intensity retail and service uses, and high density residential uses. The MU-H District is intended to be applied in Activity Centers and other areas with excellent public transportation access and a full range of public facilities and infrastructure.

30-6-4 Public and Institutional Districts Intent Statement

30-6-4.1 PI Public and Institutional District

The PI, Public and Institutional District is intended to accommodate mid- and large-sized public, quasi-public, and institutional uses which have a substantial land use impact or traffic generation potential. It is not intended for smaller public and institutional uses customarily found within residential areas.

30-6-4.2 PNR Parkland and Natural Resource Areas District

The PNR, Parkland and Natural Resource Areas District is intended to accommodate large size (over 10 acres) public and quasi-public lands such as major regional parks and recreation areas, conservation or natural areas, shoreland, urban wilderness areas, and waterfront access areas, open space owned by a governmental or nonprofit (or similar) entity for land conservation, and associated ancillary uses such as operational facilities, recreational facilities designed to accommodate intermittent activities (such as ball fields or amphitheatres), and concessions operating under the purview of the Greensboro Parks and Recreation Department. It is not intended to accommodate outdoor recreation areas that are more commercial and permanent in nature, such as amusement parks or go-kart tracks. Nor is it intended to accommodate smaller neighborhood parks or recreation areas.

30-6-5 Commercial District Intent Statements

30-6-5.1 C-N Commercial Neighborhood ~~NB Neighborhood Business~~ District

The ~~NB, Neighborhood Business~~C-N, Commercial- Neighborhood District is primarily intended to accommodate ~~a mix of very-low~~ intensity office, retail, and personal service and upper story residential uses within residential areas. The district is established to provide convenient locations for businesses on small to mid-sized sites which serve the needs of surrounding residents without disrupting the character of the neighborhood. It is not intended to accommodate retail uses which primarily attract passing motorists. Compatibility with nearby residences is reflected in design standards for both site layout and buildings.

30-6-5.2 ~~C-L Commercial- Low LB Limited Business~~ District

~~The LB, Limited Business~~ The C-L, Commercial- Low District is primarily intended to accommodate moderate intensity shopping and services close to residential areas. The district is established to provide locations for businesses which serve nearby neighborhoods. The district is typically located near the intersection of collectors or thoroughfares in areas which are otherwise developed with residences.

30-6-5.3 ~~C-M Commercial- Medium GB General Business~~ District

~~The GB, General Business~~ C-M, Commercial- Medium District is primarily intended to accommodate a wide range of retail, service, and office uses. The district is typically located along thoroughfares in areas which have developed with minimal front setbacks.

30-6-5.4 ~~C-H Commercial- High SC Shopping Center~~ District

~~The SC, Shopping Center~~ C-H, Commercial- High District is primarily intended to accommodate a wide range of high intensity retail and service developments meeting the shopping and distributive needs of the community and the region. The district is established on large sites which are typically located along thoroughfares to provide locations for major developments which contain multiple uses, shared parking and drives, and coordinated signage and landscaping.

~~**HB Highway Business District**~~

~~The HB, Highway Business District is primarily intended to accommodate retail, service, and distributive uses which are typically located along thoroughfares. The district is established to provide locations for establishments which cater primarily to passing motorists and require high visibility and good road access. Developments in this district generally have substantial front setbacks.~~

30-6-5.5 CB Central Business District

The CB, Central Business District is solely intended for application in the central core of the city. The district is established to encourage high intensity, compact urban development. The district is intended to accommodate a wide range of uses including office, retail, service, institutional, and high density residential developments in a pedestrian-oriented mixed-use setting (often, multiple uses may be located in the same building).

30-6-6 Industrial District Intent Statements

30-6-6.1 ~~O-BP Office Business Park District CP Corporate Park District~~

~~The CP, Corporate Park District~~ O-BP Office Business Park District is primarily intended to accommodate office complexes, warehouse, research and development, and assembly uses on large sites in a planned, campus-like setting that emphasizes natural characteristics and landscaping. The District may also contain retail and service uses which customarily locate within planned employment centers. Developments should demonstrate a unified architectural design and the orientation and operation of uses should ensure compatability with adjacent residential uses. Limited standards foster originality and flexibility.

30-6-6.2 LI Light Industrial District

The LI, Light Industrial District is primarily intended to accommodate limited manufacturing, wholesaling, warehousing, research and development, and related commercial/service activities which in their normal operations, have little or no adverse effect upon adjoining properties.

30-6-6.3 HI Heavy Industrial District

The HI, Heavy Industrial District is primarily intended to accommodate a wide range of assembling, fabricating, and manufacturing activities. The District is established for the purpose of providing appropriate locations and development regulations for uses which may have significant environmental impacts or require special measures to ensure compatibility with adjoining properties.

30-6-7 Special Districts Intent Statements

30-6-7.1 PUD Planned Unit Development Districts

Planned Unit Development districts are intended to allow a diverse mixture of residential and/or nonresidential uses and structures that function as cohesive and unified projects. The districts ~~will~~ encourage innovation by allowing flexibility in permitted use, design, and layout requirements in accordance with a Unified Development Plan. Projects should reduce travel times by providing opportunities for employment and services closer to residences.

Planned Unit Development districts are intended to reduce housing and infrastructure costs by promoting smaller lot sizes and the corresponding linear footage of streets, water lines, and sanitary and storm sewers. Projects should reduce the amount of site preparation grading.

Planned Unit Development districts are intended to be used in areas which have major streets and utility lines but may be experiencing little or no development, or where the applicant proposes a high quality development that is compatible with the surrounding environment (natural and built) but may require modifications to the basic standards of the underlying zoning district. Projects should protect water quality and preserve wildlife habitats and other natural features such as streams, lakes, wetlands, and trees.

~~PDR—Planned Unit Development, Residential~~

~~The CD-PDR, Conditional—Planned Unit Development—Residential District is intended to accommodate a variety of housing types developed on large tracts in accordance with a Unified Development Plan. The CD-PDR District also accommodates neighborhood business and office uses which primarily serve nearby residents.~~

~~PDM—Planned Unit Development, Mixed~~

~~The CD-PDM, Conditional—Planned Unit Development—Mixed District is intended to accommodate residential, commercial, and light industrial uses developed on large tracts in accordance with a Unified Development Plan.~~

~~PDI—Planned Unit Development, Infill~~

~~The CD-PDI, Conditional—Planned Unit Development—Infill District is intended to accommodate residential, commercial, office, and neighborhood business uses developed on small tracts of land as infill development within currently built up area in accordance with a Unified Development Plan.~~

~~Established:~~

~~CD-PDR-CONDITIONAL—PLANNED UNIT DEVELOPMENT—RESIDENTIAL DISTRICT~~

~~The CD-PDR, Conditional—Planned Unit Development—Residential District is intended to accommodate a variety of housing types developed on large tracts in accordance with a Unified Development Plan. The CD-PDR District also accommodates neighborhood business and office uses which primarily serve nearby residents.~~

~~CD-PDM CONDITIONAL—PLANNED UNIT DEVELOPMENT—MIXED DISTRICT~~~~The CD-PDM, Conditional—Planned Unit Development—Mixed District is intended to accommodate residential, commercial, and light industrial uses developed on large tracts in accordance with a Unified Development Plan.~~~~CD-PDI CONDITIONAL—PLANNED UNIT DEVELOPMENT—INFILL DISTRICT~~~~The CD-PDI, Conditional—Planned Unit Development—Infill District is intended to accommodate residential, commercial, office, and neighborhood business uses developed on small tracts of land as infill development within currently built up area in accordance with a Unified Development Plan.~~**30-6-7.2 TN-1 Traditional Neighborhood District**

The TN, Traditional Neighborhood District is intended to establish or strengthen compact neighborhoods with a distinct sense of place and character that are limited in size and oriented toward pedestrian activity. Projects should encourage a desirable mix of residential, commercial, and civic uses that are built in close proximity to each other along a network of interconnecting streets and blocks; resulting in a coordinated transportation system with appropriately designed facilities for pedestrian, bicycle, public transportation, and conventional vehicles.

~~The TN1 Traditional Neighborhood District is intended to establish land use and design standards to be applied specifically in neighborhoods where a variety of uses are permissible in accordance with general standards. Foremost among these standards is adherence to an approved Traditional Neighborhood Development Plan. TN1 districts are designed to be walkable, pedestrian and transit oriented communities, and generally are organized so that the distance from the edge of each neighborhood in the district to the center is about 1/4 mile. This development concept is intended to perpetuate and extend the predominant pattern of urban development prior to World War II and to encourage a vibrant community of mixed uses. The TN1 District must include a variety of building types in accordance with the approved Traditional Neighborhood Development Plan, including attached and detached single family, multifamily, mixed use, business and civic buildings.~~

30-6-8 Conditional Use Zoning Districts Intent Statements

Conditional ~~Use Zoning~~ Districts are zoning districts in which the development and use of the property is subject to predetermined ordinance standards and the rules, regulations, and conditions imposed as part of the legislative decision creating the district and applying it to the particular property. A Conditional ~~zoning~~ District allows particular uses to be established only in accordance with specific standards and conditions pertaining to each individual development project. Some land uses are of such a nature or scale that they have significant impacts on both the ~~immediately~~ surrounding area and on the entire community, ~~which cannot be predetermined and controlled by general district standards.~~ or there are ~~also~~ circumstances ~~in which a general district designation~~ where allowing such a use by right would not be appropriate for a particular property even though the uses itself could, if properly planned, be appropriate for the property and the surrounding community. ~~consistent with the objectives of these regulations, the adopted comprehensive plan, and adopted district and area plans.~~

30-6-9 Overlay District Intent Statements

30-6-9.1 –AC, Activity Center Overlay District

(A) Intent

Activity centers are existing or anticipated future concentrations of uses that function as destinations or hubs of activity for the surrounding area. Typically located in areas of mixed use shown on the Generalized Future Land Use Map, activity centers are intended to include features such as a mix of higher intensity uses (housing, retail, office, etc.), compact development patterns, pedestrian and transit linkages. Activity centers must be served by a rich network of alternative transportation options, including walking routes, bike lanes, and rail (if available).

The purpose of the Activity Center Overlay District is to promote the development of lands in areas designated as activity centers on the Generalized Future Land Use Map in accordance with the Comprehensive Plan and the adopted activity center master plan if one has been developed for the specific activity center. The regulations allow for greater variety of uses, flexibility in site planning and development regulations, and intensity of land use than is generally allowed in the underlying zoning district.

(B) Types of Activity Centers

Editor's note: the types of Activity Centers shown are proposed and will be updated based on discussions with Citizen's Advisory Team, Council, and staff.

The intensity of development and range of uses permitted in a center is based on the activity center designation on the Generalized Future Land Use Map. Generally, each type of activity center is intended to function as provided below. More specific guidance can be found in the applicable activity center master plan.

1) Transit Oriented Activity Center

Transit oriented activity centers are centered around the depot and proposed rail stops. In addition, they may be located in other areas that will be served by alternative transportation modes such as intermodal transportation facilities. These areas are characterized by designs and uses that prioritize pedestrian activity such as ground level retail, service commercial, and hotel or other overnight accommodations. Multifamily residential and mixed use buildings are encouraged.

2) Urbanized Activity Center

An urbanized activity center should have a mix of land uses in a compact pattern that reduce dependency on the automobile, improve air quality, and promote high quality, interactive office, retail, and residential development. These areas are characterized by interconnected streets, building entries along the street, and architectural features and outdoor activities that encourage pedestrian activity. Multifamily and upper story residential development is appropriate. However, single family residential uses are discouraged.

3) Employment / Institutional Activity Center

Employment and institutional activity centers are characterized by large office and office-commercial uses, university, hospital, and other institutional uses in an urban or suburban campus-like setting. Research and development uses and other low-intensity commercial and industrial uses with minimal external impacts may be considered. Supporting retail, service commercial, and hotel or similar uses are appropriate. A

limited amount of residential development may be considered, but should not be a principle component of a development.

4) Other ??

30-6-9.2 –DDO, Downtown Design Overlay

The –DDO, Downtown Design Overlay is established to provide for a transition of uses between the high intensity development in the central business district and lower intensity development surrounding the downtown. It is the intent of the DDO to encourage intense development and pedestrian activity in the downtown area and provide for appropriate transistions to the surrounding neighborhoods through a combination of development standards and use provisions.

30-6-9.3 –HDO, Historic District Overlay

The ~~-HDO~~, Historic District Overlay is intended to protect, safeguard, and conserve the heritage of the community; promote the sound and orderly preservation of historic areas as a whole, and of the individual properties therein, which embody important elements of social, economic, political, or architectural history for the education, pleasure, and enrichment of all citizens; and stabilize and enhance ~~increase~~ property values within historic areas.

~~establishes regulations which will help maintain the historic integrity of certain areas within the City. These regulations are specified in Section 30-4-4 (Overlay District Requirements).~~

30-6-9.4 –NCO- Neighborhood Conservation Overlay District

Editor's note: Council has elected to fast-track these provisions and they are being considered outside of the general LDO rewrite process.

30-6-9.5 –PSO, Pedestrian Scale Overlay

The PSO, Pedestrian Scale Overlay District is intended to accommodate commercial, office residential, and neighborhood business uses as infill development. Standards encourage consistency between new development and existing development within ~~currently~~-built up areas and provide safe, walkable, attractive, pedestrian-oriented areas.

~~30-1-3.17 — Pedestrian Scale Overlay Purposes~~

~~The pedestrian scale overlay regulations, adopted and prescribed in this ordinance, are found by the City Council to be necessary and appropriate to accommodate commercial, residential, office, and neighborhood business uses as infill development;~~

~~(A) — Encourage consistency between new development and existing development within currently built up areas.~~

~~(B) — Provide safe, walkable, attractive, pedestrian oriented areas.~~

30-6-9.6 –SCO, Scenic Corridor Overlay District

The ~~-SCO~~, Scenic Corridor Overlay District is intended to preserve and enhance the appearance and operational characteristics of certain designated roadways; and address development issues of special concern with specific requirements which relate to land use, traffic movement, access, environment, signage, landscaping, visual quality, and aesthetics. The SCO-1 and SCO-2 Overlay districts are intended to be applied to lands located along the Urban Loop upon annexation into the City.

1 ~~establishes regulations which will enhance the attractiveness of certain major thoroughfares~~
2 ~~within the City. These regulations are specified in Section 30-4-4 (Overlay District~~
3 ~~Requirements).~~

4 **30-6-9.7 –AO, Airport Overlay District**

5 The ~~AO~~ Airport Overlay District establishes very low residential densities near the
6 Piedmont Triad International Airport so as to minimize the negative effects of aircraft noise
7 on homes and prohibits the erection of structures which would, by virtue of their height,
8 interfere with operations at Piedmont Triad International Airport. ~~These regulations are~~
9 ~~specified in Section 30-4-4 (Overlay District Requirements).~~

10 **30-6-9.8 –MHO, Manufactured Housing Overlay District**

11 The ~~MHO~~, Manufactured Housing Overlay District is intended to provide alternative,
12 affordable housing opportunities for low- and moderate-income residents in residential areas
13 by allowing for the use of manufactured dwellings; establish requirements designed to assure
14 acceptable similarity in exterior appearance between manufactured dwellings and single
15 family dwellings that have been or might be constructed on adjacent or nearby lots; and
16 protect property values and preserve the character and integrity of the community or
17 individual neighborhoods within the community.

Article 7. District Standards

30-7-1	Measurements and Computation.....	7-1
30-7-2	Housing Types.....	7-9
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Editor's Note:

Most of the graphics in this section are taken from the current UDO and will be replaced by new graphics later in the process.

Commentary: *In addition to the specific district requirements, additional development standards may apply such as as Landscaping and Buffering (see Article XX), Off Street Parking and Loading (see Section XX), General Development Standards (see Section XX), Signs (see Article XX).*

30-7-1 Measurements and Computation

30-7-1.1 Development Measurement

(A) Development Area

The minimum development area is the total area of contiguous land and water bodies under single ownership or under multiple ownership proposed for development as a single unit or recorded as a single unit. A development does not need to be developed all at once to satisfy the development area requirement, although not necessarily all at one time

(B) Development Width

Editor's note: we may end up not needing this requirement.

The minimum development width is the distance from one side of a tract to the opposing side of a tract measured at edge of the right of way.

30-7-1.2 Lot Types

Editor's note: Graphic to be developed.

(A) Corner Lots

A lot abutting two or more streets at their intersection. The property owner shall designate the front street and the side street for his-on a corner lot. The rear setback shall be on the opposite side of the lot from the front street setback.

(B) Interior Lots

All lots that are not corner lots.

(C) Through Lots

A lot abutting two streets that do not intersect at a corner of the lot. A through lot may be a corner lot or an interior lot. A through lot has two street setbacks but no rear setback.

30-7-1.3 Lot Measurement

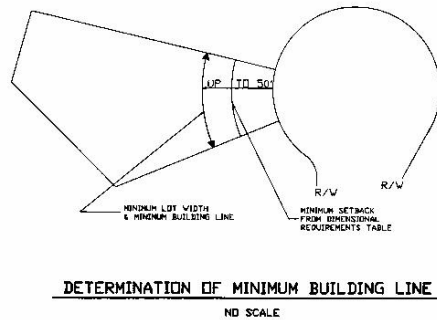
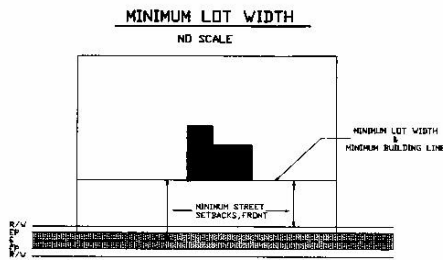
(A) **Lot Area**

The total area, excluding street right-of-way, circumscribed by the boundaries of a lot, except that, for purposes of computing lot area to satisfy minimum lot area requirements, the following rules apply:

- 1) If intersecting street rights-of-way at a corner lot are connected by a right-of-way chord or radius, the area lying between the chord or radius and the projections of the two street right-of-way lines to a point of intersection are included in the lot area calculation.
- 2) If a street right-of-way line cannot be determined, or if the street is a private street, a line parallel to and 25 feet from the center of the traveled portion of the street will be used as the boundary for lot area calculation.
- 3) For lots abutting If a collector, subcollector, or local street rights-of-way wider than required by this Ordinance is present, the extra right-of-way on each side will be counted toward the minimum lot area of the abutting lot on the same side.
- 4) For additional lot area standards applying to multifamily development standards, see Section 30-8-4.2(G).

(B) **Lot Width**

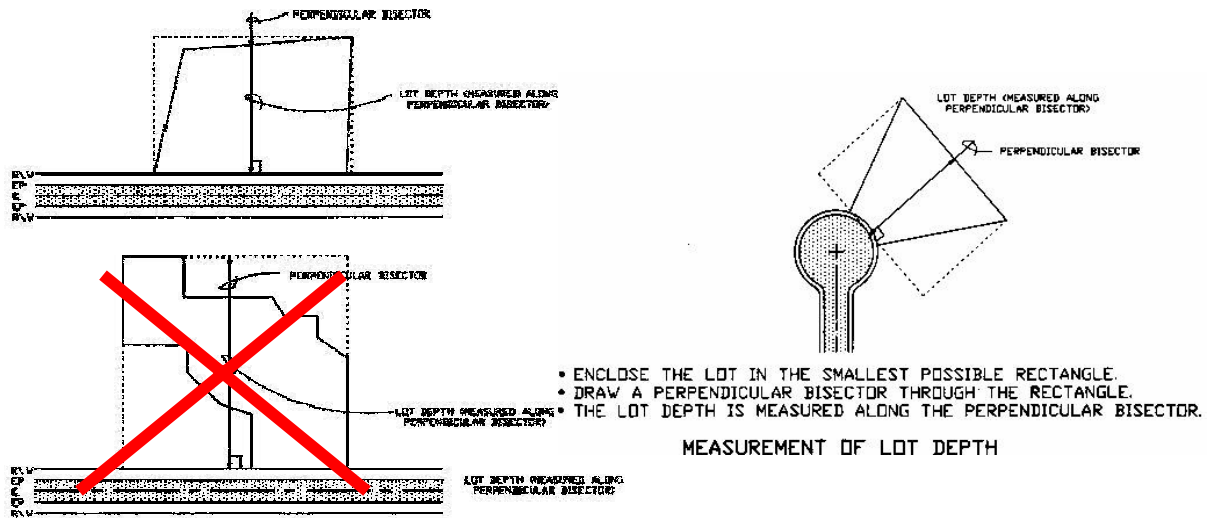
The lot width is the distance from side lot line to side lot line measured at the minimum front street setback (parallel to the front property line). For lots along circular turnarounds, the ~~minimum~~ lot width may be measured at a front street setback of up to 50 feet from the street right-of-way. On circular turnarounds, the point where lot width is measured is considered the minimum building line.



(C) **Lot Depth**

The lot depth is the distance measured at the deepest part of the lot along the perpendicular bisector from the front lot line to the rear lot line, of the smallest possible rectangle enclosing the lot.

Editor's note: Modify graphic to show measurement being taken at intersection of rear lot line and perpendicular bisector in upper left graphic. Delete weird lower left diagram.



30-7-1.4 Setbacks

(A) Street Setbacks

Street setbacks are computed by the horizontal distance from the existing or proposed (whichever is further from the centerline) property line to the nearest part of the applicable building, structure, sign, or activity, measured perpendicularly to the line. The future street right-of-way line will be determined by the Transportation Director using the street centerline or other appropriate reference point which satisfies the intent of the street design standards and its roadway classification.

1) Front

Any setback from a street other than a side street setback. A through lot has two front street setbacks.

2) Side

Side street setback is a required street setback that is not a front street setback.

3) Thoroughfare

Thoroughfare (major or minor) setback is the setback required for any portion of a lot abutting a thoroughfare.

4) Street Setback Reduction

Where 50% or more of the lots on the same side of the block as the lot in question are developed with less than the required street setbacks, the required street setback may be modified to fall within the Traditional Range of street setbacks as provided below:

- a) Derive the Traditional Range of street setbacks by measuring the setbacks of up to two buildings on either side (up to four total) of the subject lot. These measured setbacks establish the Traditional Range of street setbacks.
- b) The reduced street setback for the subject lot may be located anywhere in this Traditional Range.
- c) Street setback reduction provisions do not apply along certain thoroughfares where a defined setback requirement has been established (see Section 30-7-1.4(C), Setbacks from Thoroughfares).

Prevailing Street Setback

Where 50% or more of the lots on the same side of the block as the lot in question are developed with less than the required street setbacks, the average setback of the two principal buildings nearest that lot shall be observed as the required minimum setback.

(B) Interior Setbacks

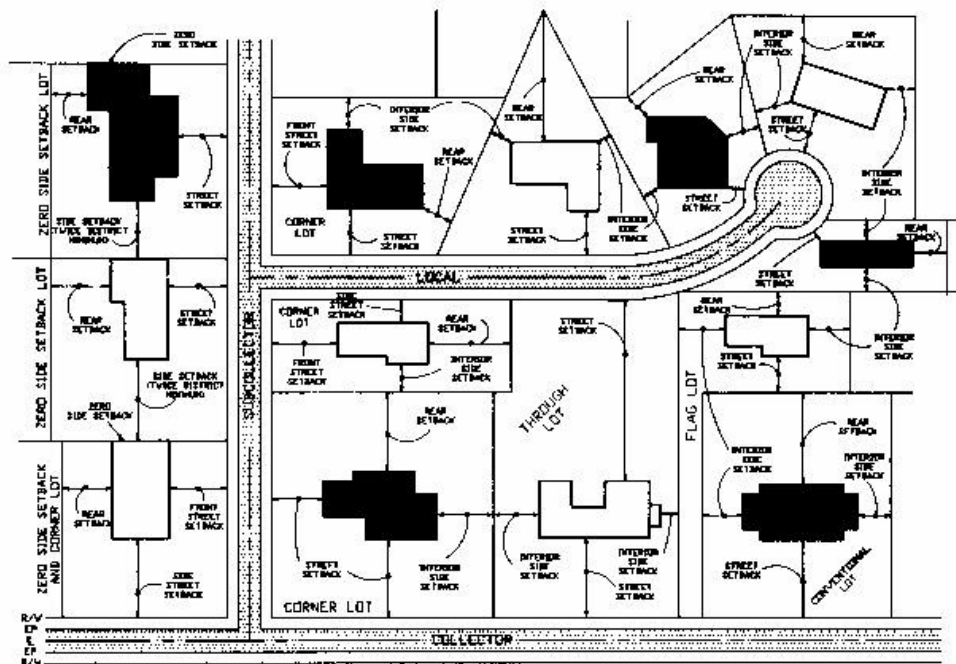
Interior setback is measured from any property line not alongside a street.

1) Rear

A setback from an interior property line lying on the opposite side of the lot from the front street setback.

2) Side

Any interior property line setback other than a rear setback.



DETERMINATION OF SETBACKS

(C) Setbacks from Thoroughfares

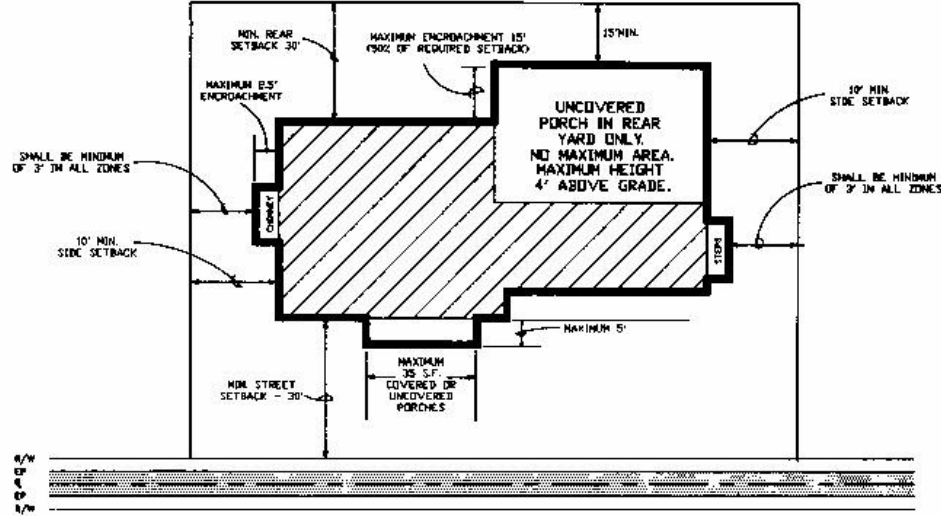
Editor's note: Depending on the finalized district setbacks, and the Street Design Standards, this section may be deleted.

In accordance with adopted Thoroughfare Plan(s) require modified setback requirements for certain areas. Instead of using the minimum setback established for the underlying zoning district, developments along these thoroughfares must use the setbacks established in the table below. In these specific cases, setback is measured from centerline of the listed thoroughfares. the following additional street setbacks are required. Each building adjacent to any thoroughfare listed in this Section must be set back at least as far as the dimensions specified below measured from the centerline of such thoroughfare. Where future street lines have been established, building setback dimensions must be measured from the centerline of the future street.

Thoroughfare	Nonresidential Zoning Districts (feet)	Residential Zoning Districts (feet)
A—B		
Alamance Church Road from U.S. 421 Southeast to the City Limits	80	100
Battleground Avenue from Benjamin Parkway at Smith Street to the City Limits	per district	100
Benjamin Parkway from Smith Street North to Battleground Avenue	per district	100
Bridford Parkway from Hilltop Road North to its Terminus	80	100
Burlington Road from Huffine Mill Road East to the City Limits	80	100
C—E		
Creek Ridge Road from Randleman Road West to its Terminus	80	100
Elm Eugene Street from Vandalia Road South to the City Limits	100	100
F		
Fleming Road from Old Oak Ridge Road North to the City Limits	per district	100
Freeman Mill Road from Randleman Road South to Meadowview Road	per district	100
Friendly Avenue from Radiance Drive West to West Market Street	100	100
H		
High Point Road from Groometown Road South to the City Limits	100	100
Hilltop Road from High Point Road West to the Westernmost City Limits	80	100
Holden Road from Friendly Avenue South to the City Limits	100	100
Huffine Mill Road from Nealtown Road Northeast to the City Limits	80	100
L—N		
Liberty Road from Alamance Court South to the City Limits	80	100
Market Street from Aycock Street West to the City Limits	per district	100
Nealtown Road from Burlington Road to White Street	80	100
New Garden Road from Battleground Avenue to Friendly Avenue	100	100
P—W		
Penry Road from Huffine Mill Road South to the City Limits	80	100
Summit Avenue from Phillips Avenue North to the City Limits	100	100
Vandalia Road from Holden Road West to Groometown Road	80	100
Wendover Avenue from the East City Limits to the West City Limits	100	100

(D) **Encroachments into Required Setbacks**

The following are allowed in required setbacks provided that compliance is maintained with the provisions of City Code Section 16-8 (Obstructions to Cross-Visibility at Intersections):



- 1) Landscaping features, including but not limited to, ornamental pools, planting boxes, sculpture, arbors, trellises, and birdbaths.
- 2) Pet shelters; at-grade patios; play equipment; outdoor furniture; ornamental entry columns and gates; flagpoles; lampposts; address posts; HVAC equipment; mailboxes; outdoor fireplaces; public utility lines, poles, pumps, and boxes; wells; fences ~~or~~ subject to the requirements of Section ~~XX~~ (Fences); or similar structures.
- 3) Handicap ramps except for porches and landings.
- 4) Steps not connected to any above-grade structure,
- 5) Gatehouses/guardhouses and bus shelters with approval of the Planning Director and the Transportation Director.

5) Encroachments Permitted in Required Setbacks

The following structures may encroach into required setbacks as follows (See Appendix 5: Illustrations):

- 6) Cornices, overhanging eaves and gutters, window sills, bay windows, or similar architectural features, chimneys and fireplaces, fire escapes, fire balconies, and fire towers may project up to two and one-half feet into any required setback, but must remain at least, but in no case shall be closer than three feet to from any property line.
- 7) Porches and decks may encroach into the required front and rear setbacks as follows:

Type of Porch or Deck	Setback	Maximum Encroachment	Maximum Area
Covered or Uncovered	Front	5 feet	35 sq. ft.
Uncovered- 4 ft. or less above grade	Rear	50% of setback	--

- 8) Steps attached to above-grade structures:

- a) may project anywhere within a street setback; and
- b) if four feet or less above grade, may project into an interior side or rear setback, but not within three feet of a property line.
- 9) Retaining walls no more than four feet in height.
- 10) Marquee signs and projecting signs may encroach into required setbacks in accordance with Section XX, Signs.
- 11) Dumpsters, recycling bins, grease tanks, and similar accessory waste-handling facilities may be located in a required side or rear setback in accordance with Section XX. Waste-handling facilities may not be located in a required street setback.

30-7-1.5 Build-To Line

(A) Description

The build-to line is an imaginary line running parallel to the existing or proposed (if one exists) right-of-way line along the subject lot's primary street frontage. The build-to line establishes the maximum distance from the right-of-way that a building can be built.

Editor's note: Need Build-to line Graphic.

(B) Reduction in Build-To Requirements

The Planning Director may approve a Type 1 Modification (see Section 30-4-11, Minor Modifications) allowing a reduction in the percentage of building façade that must conform to the build-to requirement in the following cases:

- 1) Properties located mid-block may increase the build-to line to the prevailing street setback (see Section 30-7-3.5(F)1, Prevailing Street Setbacks).
- 2) The development fronts on two or more public streets.
- 3) The reduction is being requested due to a conflict with utility placement.
- 4) The reduction is being requested to accommodate:
 - a) Environmental or topographical constraints.
 - b) Preservation of healthy mature trees.
 - c) Building facades that are recessed in accordance with Section 30-9-2, Exterior Design Standards. Building entrances, including stoops, stairways, and ramps.
 - d) Arcades and pedestrian plazas.
 - e) Decorative sidewalks at least 50% wider than the minimum width requirements.
 - f) Properly established sidewalk cafes of up to 500 s.f. and outdoor seating areas.
 - g) Landscaping and public art installations, fountains, and sidewalk planters.
 - h) Sight Triangle requirements (see Section 30-9-1).
 - i) Historic District or Landmark property requirements (Historic Preservation Commission approval required), and/or overlay district requirements.

30-7-1.6 Easements

(A) Encroachment Restrictions

Unless specifically permitted in section (B), below, buildings or structures may not encroach into an easement.

(B) Permitted Encroachments

1) Utility Easements

In addition to the lines, boxes, structures, and substation buildings for which utility easements are intended, fences without foundations may be located within utility easements. However, fences are subject to removal. (Note: Prior to fence construction, the property owner should contact ULOCO at 1-800-632-4949.)

2) Drainage Maintenance and Utility Easements

Water dependent structures, such as boat docks, may be placed or constructed within drainage maintenance and utility easements.

3) Water Quality Conservation Easements

Water dependent structures, such as boat docks, may be placed or constructed within water quality conservation easements.

30-7-1.7 Bulk

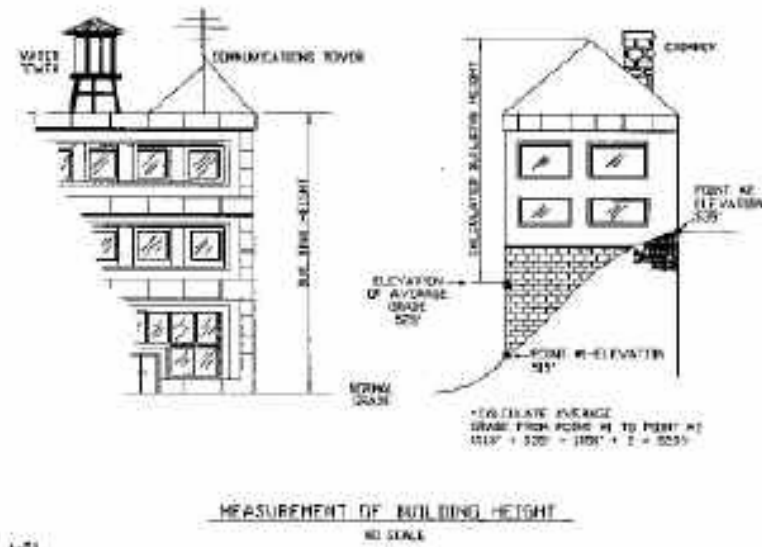
(A) Height

1) Measurement

Building height is the vertical distance measured from the average elevation of the finished grade to the topmost section of the highest roof surface of any flat roof or the highest point of the highest pitched roof.

2) Exceptions

The height limitations of this Ordinance do not apply to ~~public buildings;~~ churches ~~spires;~~ belfries; cupolas or domes (not intended for residential purposes); roof appurtenances such as housing for elevators, stairwells, ~~skylights, ventilation mechanical~~ equipment, or similar structures, including ~~parapet walls and other any~~ structures designed to screen such appurtenances that are no more than four feet in height; monuments; water, observation, clock, or power transmission towers; silos or grain elevators; chimneys or smokestacks; derricks or conveyors; and flagpoles, provided such structures meet the NC Building Code.



(B) **Let Building Coverage**

The portion of a lot covered by buildings(s) or roofed structure(s), excluding allowed projecting eaves, balconies, and similar features.

(C) **Building Separation**

The minimum required horizontal distance between buildings, measured wall to wall.

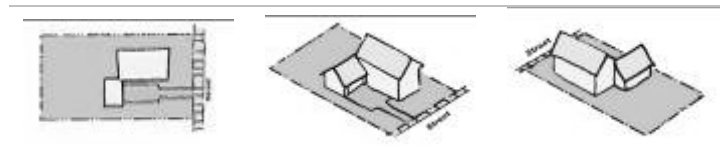
30-7-2 Housing Types

Editor's note: The sketches and graphics included in this module are for discussion/demonstration purposes only. The final drawings/diagrams will be produced upon confirmation of the underlying standards.

30-7-2.1 Single Family Detached

(A) **General**

Single family detached housing is a separate, detached building designed for and occupied exclusively by one family.



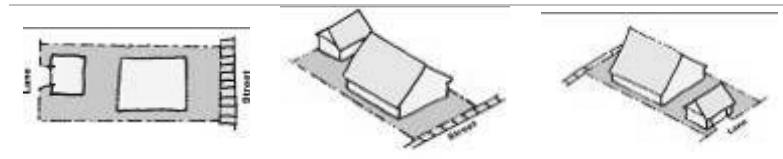
(B) **Cluster**

The objective of cluster development is to place houses closer together on smaller lots than normally permitted in the zoning district and to place land which would otherwise have been included in private lots into public dedication or common area elements for open space. Cluster development complies with the maximum density standards of the base zone but requires that at least 15% of the tract to be placed into common open space. See Section 30-7-3.3, Cluster Development for development requirements.

30-7-2.2 Traditional House

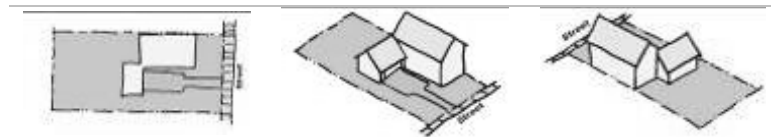
Editor's note: The "traditional house" is a housing type commonly found in older neighborhoods throughout the country. Because this housing type is allowed on smaller lots, it promotes an efficient development pattern. Allowing the home to be located closer to the street creates an environment that is more "neighborhood friendly" or "pedestrian friendly" because it promotes engagement with the community.

A traditional house is a single-family detached dwelling that is set closer to the street than a conventional single family detached dwelling. Automobile parking areas and garages are located to the rear of the property and are subordinate in character to the primary structure. It has private yards on each side of the building. See Section 30-8-4.2(J) for additional development standards.



30-7-2.3 Zero Lot Line

Zero lot line is a modified form of single family detached with an alternate form of dimensional requirements that allow a dwelling unit to have one side setback of zero feet. The unit has a single side yard on one side comprising the equivalent of two side yards of a single-family detached house. See Section 30-7-3.4 for additional development standards. This definition does not include townhouses.



30-7-2.4 Twin Home

Editor's note: Graphic for duplex shown.

A building twin home is a dwelling type consisting of two attached single family dwelling units, each dwelling unit occupying its own conventional lot and conveyed by deed in fee simple, connected along a common party wall with no interior circulation between the two.



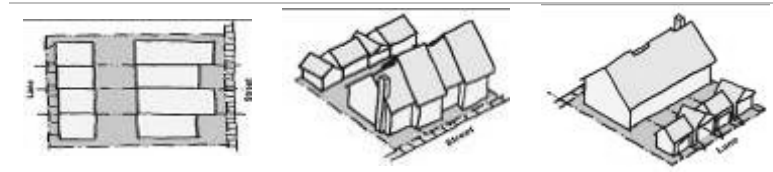
30-7-2.5 Duplex

A duplex is a single building with two dwelling units constructed on one zone lot arranged and designed to be occupied by two families living independently of each other. The two dwelling units may be located side by side or on separate floors.



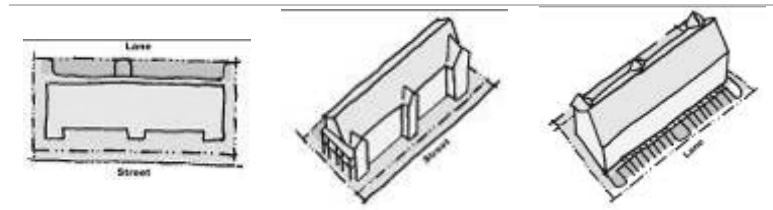
30-7-2.6 Townhouse

Two or more attached or detached dwelling units located on separate townhouse lots. Townhouse lots hold one dwelling unit and are smaller than a conventional lot. A building consisting of single family residences attached to one another in which each unit is located on an individually owned parcel. Townhouses are generally located within a development containing drives, walks, and open space in common elements. See Section 30-8-4.2(I) for additional development standards.



30-7-2.7 Multifamily

Three or more attached dwelling units in a single structure on a single lot. Individual units may be mixed vertically or horizontally. See Section 30-8-4.2(G) for additional development standards.

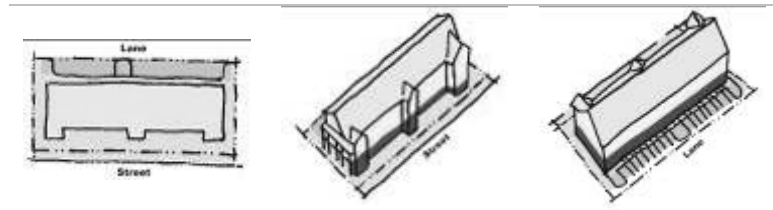


A building or portion thereof used or designed as a residence for three (3) or more families living independently of each other with separate housekeeping and cooking facilities for each, and including apartments, townhouses, and condominiums.

30-7-2.8 Upper Story Residential

(A) Description

A dwelling unit located on a floor above a nonresidential use on the ground floor. See Section 30-8-4.2(K) for additional development standards.



30-7-3 Residential Zoning Districts

All development in residential zoning districts must comply with the requirements of this Section.

30-7-3.1 Patterns of Development







- (A) Development requirements are provided for four different patterns of residential development: “Conventional” (Section 30-7-3.2), “Cluster” (Section 30-7-3.3), Zero Lot Line (Section 30-7-3.4), and “Contextual” infill (Section 30-7-3.5).
- (B) Development requirements for nonresidential development are provided in Section 30-7-3.6, Nonresidential Development in a Residential District.

30-7-3.2 Conventional Development

(A) R-3 Residential Single Family 3

1) Conventional Development Dimensional Standards

Dimensional standards for the R-3 District are found in the table below:

Table 7-1, R-3 Conventional Development Dimensional Requirements ¹						
	Single Family Detached and Zero Lot Line ²	Traditional House	Twin Home	Townhouse	Duplex	Multifamily
R-3						
	Permitted	Not Permitted	Permitted	Not Permitted	Not Permitted	Not Permitted
Lot Dimensions (minimum)						
Lot size (sq. ft.)	12,000	--	9,000	--	--	--
Area per dwelling unit (sq. ft.)	N/A	--	N/A	--	--	--
Lot width (ft.)						
Interior Lot	75	--	60	--	--	--
Corner Lot	80	--	60	--	--	--
Setbacks (minimum ft.)						
Street setback (measured from edge of right of way 30-7-1.4(A))						
Front (façade / garage door)	25/30	--	25/30	--	--	--
Side, except thoroughfare	15	--	15	--	--	--
Thoroughfare	35	--	35	--	--	--
Interior setback						
Side	10	--	15/0	--	--	--
Rear	30	--	30	--	--	--
Bulk (maximum)						
Height (feet) / Number of stories	50/3	--	50/3	--	--	--
Building coverage (% of lot)	30	--	30	--	--	--
Cluster Density Factor ³	3	--	Not Permitted	--	--	--
Notes:						
¹ Dimensional requirements in this table may be modified by overlay district requirements.						
² See Section 30-7-3.4, Zero Lot Line.						
³ See Section 30-7-3.3, Cluster Development.						

2) Additional District Standards







[Reserved]

(B) R-5 Residential Single Family 5

1) Conventional Development Dimensional Standards

Dimensional standards for the R-5 District are found in the table below:

Table 7-2, R- 5 Conventional Development Dimensional Requirements¹

	Single Family Detached and Zero Lot Line ²	Traditional House	Twin Home	Townhouse	Duplex	Multifamily
R-5						
	Permitted	Permitted	Permitted	Not Permitted	Not Permitted	Not Permitted
Lot Dimensions (minimum)						
Lot size (sq. ft.)	7,000	5,800	6,000	--	--	--
Area per dwelling unit (sq. ft.)	N/A	N/A	N/A	--	--	--
Lot width (ft.)						
Interior Lot	50	45	45	--	--	--
Corner Lot	58	48	48	--	--	--
Setbacks (minimum ft.)						
Street setback (measured from edge of right of way 30-7-1.4(A))						
Front (façade / garage door)	20/25	20 w/ parking behind dwelling	20/25	--	--	--
Side, except thoroughfare	15	10	15	--	--	--
Thoroughfare	35	35	35	--	--	--
Interior setback						
Side	5	5	12/0	--	--	--
Rear	20	10	20	--	--	--
Bulk (maximum)						
Height (feet) / Number of stories	50/3	50/3	50/3	--	--	--
Building coverage (% of lot)	40	50	40	--	--	--
Cluster Density Factor ³	5	Not Permitted	Not Permitted	--	--	--

Notes:

¹ Dimensional requirements in this table may be modified by overlay district requirements.

² See Section 30-7-3.4, Zero Lot Line.

³ See Section 30-7-3.3, Cluster Development.

2) Additional District Standards







[Reserved]

(C) R-7 Residential Single Family 7

1) Conventional Development Dimensional Standards

Dimensional standards for the R-7 District are found in the table below:

Table 7-3, R-7 Conventional Development Dimensional Requirements¹

	Single Family Detached and Zero Lot Line ²	Traditional House	Twin Home	Townhouse	Duplex	Multifamily
R-7						
	Permitted	Permitted	Permitted	Not Permitted	Not Permitted	Not Permitted
Lot Dimensions (minimum)						
Lot size (sq. ft.)	5,000	4,000	3,500	--	--	--
Area per dwelling unit (sq. ft.)	N/A	N/A	N/A	--	--	--
Lot width (ft.)						
Interior Lot	50	45	40	--	--	--
Corner Lot	58	48	50	--	--	--
Setbacks (minimum ft.)						
Street setback (measured from edge of right of way 30-7-1.4(A))						
Front (façade / garage door)	20/25	20 w/ parking behind dwelling	20/25	--	--	--
Side, except thoroughfare	15	10	15	--	--	--
Thoroughfare	35	35	35	--	--	--
Interior setback						
Side	5	5	10/0	--	--	--
Rear	15	5	15	--	--	--
Bulk (maximum)						
Height (feet) / Number of stories	50/3	50/3	50/3	--	--	--
Building coverage (% of lot)	45	50	50	--	--	--
Cluster Density Factor³	7	Not Permitted	Not Permitted	--	--	--
Notes:						
¹ Dimensional requirements in this table may be modified by overlay district requirements.						
² See Section 30-7-3.4, Zero Lot Line.						
³ See Section 30-7-3.3, Cluster Development.						

2) Additional District Standards

a) Open Space







Residential developments in excess of five acres must reserve at least 15% of the total development area as common elements open space (See Section XX, Open Space).

(D) RM-5 Residential Multifamily 5

1) Conventional Development Dimensional Standards

Dimensional standards for the RM-5 District are found in the table below:

Table 7-4, RM-5 Conventional Development Dimensional Requirements¹

	Single Family Detached and Zero Lot Line ²	Traditional House	Twin Home	Townhouse	Duplex	Multifamily
RM-5						
	Permitted	Permitted	Permitted	Permitted	Permitted	Permitted
Lot Dimensions (minimum)						
Lot size (sq. ft.)	7,000	5,800	6,000	26,136 for first 3 dwelling units	13,000	26,136 for first 3 dwelling units
Area per dwelling unit (sq. ft.)	N/A	N/A	N/A	8,712 for each additional unit	N/A	8,712 for each additional unit
Lot width (ft.)						
Interior Lot	50	45	45	75	90	75
Corner Lot	58	48	48	N/A	95	N/A
Additional lot width per unit above 3 dwelling units	N/A	N/A	N/A	5 feet up to a total minimum of 120 feet	N/A	5 feet up to a total minimum of 120 feet
Setbacks (minimum ft.)						
Street setback (measured from edge of right of way 30-7-1.4(A))						
Front (façade / garage)	20/25	20 w/ parking behind dwelling	20/25	20/25	20/25	20/25
Side, except thoroughfare	15	10	15	15	15	15
Thoroughfare	35	35	35	35	35	35
Interior setback						
Side	5	5	12/0	See 30-7-3.2(J)	10	See 30-7-3.2(J)
Rear	20	10	20		20	
Bulk (maximum)						
Height (feet) / Number of stories	50/3	50/3	50/3	50/3	50/3	50/3
Maximum number of dwelling units per building	N/A	N/A	N/A	4	N/A	N/A
Building coverage (% of lot)	40	50	40	40	40	40
Cluster Density Factor³	5	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted
Notes:						
¹ Dimensional requirements in this table may be modified by overlay district requirements.						
² See Section 30-7-3.4, Zero Lot Line.						
³ See Section 30-7-3.3, Cluster Development.						

2) Additional District Standards







[Reserved]

(E) RM-8 Residential Multifamily 8

1) Conventional Development Dimensional Standards

Dimensional standards for the RM-8 District are found in the table below:

Table 7-5, RM-8 Conventional Development Dimensional Requirements¹

	Single Family Detached and Zero Lot Line ²	Traditional House	Twin Home	Townhouse	Duplex	Multifamily
RM-8						
	Permitted	Permitted	Permitted	Permitted	Permitted	Permitted
Lot Dimensions (minimum)						
Lot size (sq. ft.)	5,000	4,000	3,500	16,335 for first 3 dwelling units	7,500	16,335 for first 3 dwelling units
Area per dwelling unit (sq. ft.)	N/A	N/A	N/A	5,445 for each additional unit	N/A	5,445 for each additional unit
Lot width (ft.)						
Interior Lot	50	45	40	75	75	75
Corner Lot	58	48	50	N/A	80	N/A
Additional lot width per unit above 3 dwelling units	N/A	N/A	N/A	5 feet, up to a total minimum lot width of 120 feet.	N/A	5 feet, up to a total minimum lot width of 120 feet.
Setbacks (minimum ft.)						
Street setback (measured from edge of right of way 30-7-1.4(A))						
Front (façade / garage door)	20/25	20 w/ parking behind dwelling	20/25	20/25	20/25	20/25
Side, except thoroughfare	15	10	15	15	15	15
Thoroughfare	35	35	35	35	35	35
Interior setback						
Side	5	5	10/0	See 30-7-3.2(J)	10	See 30-7-3.2(J)
Rear	15	5	15		15	
Bulk (maximum)						
Height (feet) / Number of stories	50/3	50/3	50/3	50/3	50/3	50/3
Maximum number of dwelling units per building	N/A	N/A	N/A	6	N/A	N/A
Building coverage (% of lot)	45	50	50	50	50	50
Cluster Density Factor³	8	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted

Notes:

¹ Dimensional requirements in this table may be modified by overlay district requirements.

² See Section 30-7-3.4, Zero Lot Line.

³ See Section 30-7-3.3, Cluster Development.







2) Additional District Standards

[Reserved]

(F) RM-12 Residential Multifamily 12

1) Conventional Development Dimensional Standards

Dimensional standards for the RM-12 District are found in the table below:

Table 7-6, RM-12 Conventional Development Dimensional Requirements ¹						
	Single Family Detached and Zero Lot Line ²	Traditional House	Twin Home	Townhouse	Duplex	Multifamily
RM-12						
	Permitted	Permitted	Permitted	Permitted	Permitted	Permitted
Lot Dimensions (minimum)						
Lot size (sq. ft.)	5,000	4,000	3,500	10,890 for first 3 dwelling units	7,500	10,890 for first 3 dwelling units
Area per dwelling unit (sq. ft.)	N/A	N/A	N/A	3,630 for each additional unit	N/A	3,630 for each additional unit
Lot width (ft.)						
Interior Lot	50	45	40	75	75	75
Corner Lot	58	48	50	N/A	80	N/A
Additional lot width per unit above 3 dwelling units	N/A	N/A	N/A	5 feet, up to a total minimum lot width of 120 feet.	N/A	5 feet, up to a total minimum lot width of 120 feet.
Setbacks (minimum ft.)						
Street setback (measured from edge of right of way 30-7-1.4(A))						
Front (façade / garage door)	20/25	20 w/ parking behind dwelling	20/25	20/25	20/25	20/25
Side, except thoroughfare	15	10	15	15	15	15
Thoroughfare	35	35	35	35	35	35
Interior setback						
Side	5	5	10/0	See 30-7-3.2(J)	10	See 30-7-3.2(J)
Rear	15	5	15		15	
Bulk (maximum)						
Height (feet) / Number of stories	50/3	50/3	50/3	50/3	50/3	50/3
Maximum number of dwelling units per building	N/A	N/A	N/A	8	N/A	
Building coverage (% of lot)	45	50	50	50	50	50
Cluster Density Factor	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted
Notes: ¹ Dimensional requirements in this table may be modified by overlay district requirements. ² See Section 30-7-3.4, Zero Lot Line.						







2) Additional District Standards

[Reserved]

(G) RM-18 Residential Multifamily 18

1) Conventional Development Dimensional Standards

Dimensional standards for the RM-18 District are found in the table below:

Table 7-7, RM-18 Conventional Development Dimensional Requirements ¹						
	Single Family Detached and Zero Lot Line ²	Traditional House	Twin Home	Townhouse	Duplex	Multifamily
RM-18						
	Permitted	Permitted	Permitted	Permitted	Permitted	Permitted
Lot Dimensions (minimum)						
Lot size (sq. ft.)	4,500	3,600	3,600	8,500 for first 3 dwelling units	7,500	8,500 for first 3 dwelling units
Area per dwelling unit (sq. ft.)	N/A	N/A	N/A	2,420 for each additional unit	N/A	2,420 for each additional unit
Lot width (ft.)						
Interior Lot	45	40	36	60	70	60
Corner Lot	55	50	50	N/A	75	N/A
Additional lot width per unit above 3 dwelling units	N/A	N/A	N/A	5 feet, up to a total minimum lot width of 120 feet.	N/A	5 feet, up to a total minimum lot width of 120 feet.
Setbacks (minimum ft.)						
Street setback (measured from edge of right of way 30-7-1.4(A))						
Front (façade / garage door)	20/25	20 w/ parking behind dwelling	20/25	20/25	20/25	20/25
Side, except thoroughfare	15	10	15	15	15	15
Thoroughfare	35	35	35	35	35	35
Interior setback						
Side	5	5	10/0	See 30-7-3.2(J)	10	See 30-7-3.2(J)
Rear	15	5	15		15	
Bulk (maximum)						
Height (feet) / Number of stories	50/3	50/3	50/3	50/3	50/3	80
Maximum number of dwelling units per building	N/A	N/A	N/A	8	N/A	N/A
Building coverage (% of lot)	45	50	50	50	50	50
Cluster Density Factor	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted
Notes: ¹ Dimensional requirements in this table may be modified by overlay district requirements. ² See Section 30-7-3.4, Zero Lot Line.						






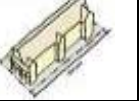
2) Additional District Standards

[Reserved]

(H) RM-26 Residential Multifamily 26

1) Conventional Development Dimensional Standards

Dimensional standards for the RM-26 District are found in the table below:

Table 7-8, RM-26 Conventional Development Dimensional Requirements ¹						
	Single Family Detached and Zero Lot Line ²	Traditional House	Twin Home	Townhouse	Duplex	Multifamily
RM-26						
	Permitted	Permitted	Permitted	Permitted	Permitted	Permitted
Lot Dimensions (minimum)						
Lot size (sq. ft.)	4,500	3,600	3,400	8,000 for first 3 dwelling units	7,000	8,000 for first 3 dwelling units
Area per dwelling unit (sq. ft.)	N/A	N/A	N/A	1,675 for each additional unit	N/A	1,675 for each additional unit
Lot width (ft.)						
Interior Lot	45	40	36	60	70	60
Corner Lot	55	50	50	N/A	75	N/A
Additional lot width per unit above 3 dwelling units	N/A	N/A	N/A	5 feet, up to a total minimum lot width of 120 feet.	N/A	5 feet, up to a total minimum lot width of 120 feet.
Setbacks (minimum ft.)						
Street setback (measured from edge of right of way 30-7-1.4(A))						
Front (façade / garage door)	20/25	20 w/ parking behind dwelling	20/25	5/5	20/25	5/5
Side, except thoroughfare	15	10	15	10	15	10
Thoroughfare	35	35	35	20	35	20
Interior setback						
Side	5	5	10/0	See 30-7-3.2(J)	10	See 30-7-3.2(J)
Rear	15	5	15		15	
Bulk (maximum)						
Height (feet) / Number of stories	50/3	50/3	50/3	50/3	50/3	80
Building coverage (% of lot)	45	50	50	50	50	50
Cluster Density Factor	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted
Notes: ¹ Dimensional requirements in this table may be modified by overlay district requirements. ² See Section 30-7-3.4, Zero Lot Line.						






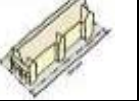
2) Additional District Standards

[Reserved]

(I) RM-40 Residential Multifamily 40

1) Conventional Development Dimensional Standards

Dimensional standards for the RM-40 District are found in the table below:

Table 7-9, RM-40 Conventional Development Dimensional Requirements ¹						
	Single Family Detached and Zero Lot Line ¹	Traditional House	Twin Home	Townhouse	Duplex	Multifamily
RM-40						
	Not Permitted	Not Permitted	Not Permitted	Permitted	Not Permitted	Permitted
Lot Dimensions (minimum)						
Lot size (sq. ft.)	--	--	--	4,000 for first 3 dwelling units	--	4,000 for first 3 dwelling units
Area per dwelling unit (sq. ft.)	--	--	--	1,089 for each additional unit	--	1,089 for each additional unit
Lot width (ft.)						
Interior Lot	--	--	--	50	--	50
Corner Lot	--	--	--	N/A	--	N/A
Setbacks (minimum ft.)						
Street setback (measured from edge of right of way 30-7-1.4(A))						
Front (façade / garage door)	--	--	--	0/0	--	0/0
Side, except thoroughfare	--	--	--	0	--	0
Thoroughfare	--	--	--	0	--	0
Interior setback						
Side	--	--	--	See 30-7-3.2(J)	--	See 30-7-3.2(J)
Rear	--	--	--		--	
Bulk (maximum)						
Height (feet) / Number of stories	--	--	--	50/3	--	120/--
Building coverage (% of lot)	--	--	--	N/A	--	N/A
Cluster Density Factor	--	--	--	Not Permitted	--	Not Permitted
Notes:						
¹ Dimensional requirements in this table may be modified by overlay district requirements.						

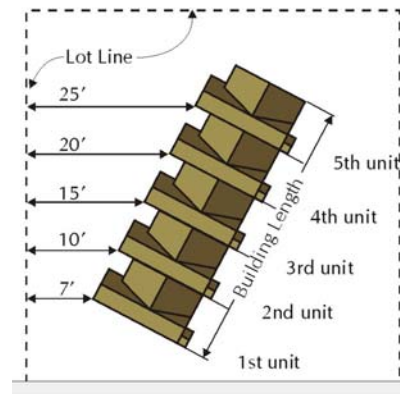
2) Additional District Standards

[Reserved]

(J) Interior Setback Standards for Townhouse and Multifamily Buildings**1) Townhouse Setback from Project Perimeter****a) Setback Abutting an R-Residential or any Single Family Dwelling**

Along the perimeter of a development abutting an R- Residential district, or any single family dwelling not located in an R- Residential district the minimum interior setback is established by the number of units in that portion of the building facing the lot line (as per the table below) or 20% of the length of that portion of the building facing the lot line, whichever is greater. (See the dimensional tables in sections 30-7-3.2(D) through 30-7-3.2(G) for the maximum number of units that may be attached as one building in each zoning district). The Planning Director may approve a Type 1 Modification (see Section 30-4-11 Modifications) granting a reduction in the required setback of up to 50% for portions of a townhouse development abutting a single family dwelling not located in an R- Residential District in the following circumstances:

Setback requirements for individual Townhouse units	Minimum Setback (feet)
1 st unit	7
2 nd unit	10
3 rd unit	15
4 th unit	20
5 th unit and up	25

**b) All Other Perimeter Setbacks**

- i)** In the RM-26 and RM-40 districts, an interior setback of zero may be used. For buildings not using an interior setback of zero, the minimum setback is five feet.
- ii)** In all other RM- districts, the minimum interior setback is 15 feet or 20% of the building length facing the lot line, whichever is greater.

2) **Multifamily Setback from Project Perimeter**

a) **Building Two Stories or Less**

i) In the RM-40 district, an interior setback of zero may be used. For buildings not using an interior setback of zero, the minimum setback is five feet.

ii) In all other RM- districts, the minimum interior setback is 25 feet or 20% of the building length facing the lot line, whichever is greater.

b) **Buildings Three Stories and More**

i) In the RM-40 district, the minimum interior setback is 10% of the building length facing the lot line.

ii) In all other RM- districts, the minimum interior setback is 40% of the building length facing the lot line.

3) **Modification of Interior Setback Standards in RM-26 and RM-40**

For townhouse and multifamily buildings located in the RM-26 and RM-40 zoning districts, the Planning Director may approve a Type 1 Modification (see Section 30-4-11, Modifications) allowing a reduction of up to 50% of the interior setback requirement if any of the following criteria are met:

i) The setback being modified abuts a parcel that is in a zoning district of equal or higher density;

ii) The setback being modified abuts a collector or higher classification of roadway; or

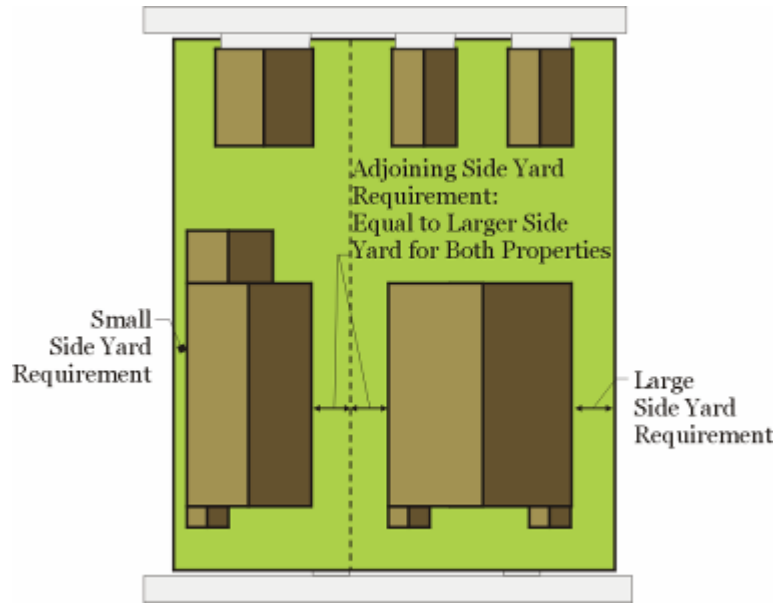
iii) The setback being modified abuts land that is not occupied by a residential use.

~~Maximum Building Heightno more than three full or partial stories are permitted entirely above grade.~~

(K) **Setback Standards on Blocks with Mixed Housing Types**

Editor's note: The intent of this is to provide protection for single family residential construction. However, some may perceive this as penalizing the builder of a single family dwelling going in adjacent to existing higher intensity housing.

Where housing types are mixed on the same block face and are adjacent to one another, the larger of the two adjoining required side setbacks must be provided for both units.



(L) Lot Modifications when Adjoining Public Open Space:

- 1) Conventional Single family lots-developments with public sewer service that abut a dedicated public drainageway and open space area may have less area than the minimum lot size required in Table 30-4-6-1 or common elements open space that is at least 30 feet in width may be developed with reduced lot size and rear setback requirements as provided below; provided the following development standards are met.
 - a) The minimum required lot size may be reduced in area to 40% below the base single family requirement to a minimum of 5,000 square feet.
 - b) Rear setbacks may be reduced to 15 feet when abutting open space, if rear property lines abut public drainageway and open space areas or if rear property lines abut common area open space at least 30 feet in width.
 - c) Side setbacks may be reduced to three feet when abutting open space.
- 2) A note must be placed on the Final Plat stating: "Lots have been reduced in area-size in accordance with 30-7-3.2(K), but all other dimensional requirements of the City of Greensboro Development Ordinance apply."

30-7-3.3 Cluster Development

Dimensional requirements for Agricultural and Single Family Districts are found in Table 30-4-6-1.

Single Family Detached Cluster Development:

(A) Where Allowed

The cluster development option may be used in any district which permits single family uses any R- Residential Single Family zoning district if the tract if the development is ten (10) acres or more and is served by municipal public sanitary sewer. Cluster development option may not be used in any RM- 12 or higher intensity zoning district.

Minimum Tract Size

~~In Residential Suburban districts, tracts must be ten acres or larger, except that conservation development may be used on tracts smaller than ten acres if street right-of-way in a street or highway corridor is dedicated pursuant to NCGS 136-66.10 and the development will be served by municipal sanitary sewer.~~

(B) Maximum Density

~~The maximum number of dwelling units allowed in a cluster development is calculated by multiplying the area of the tract (not including any pre-existing street or railroad right-of-way) by the cluster density factor for the subject zoning district (see district dimensional standards in sections 30-7-3.2(A) through 30-7-3.2(E)).~~

(C) Perimeter Compatibility

~~Lots located along the perimeter of the development must conform to the conventional lot requirements of the base district, if such lots are adjacent to a residential zoning district of equal or lower density. Lots separated by a railroad right-of-way or improved public street or roadway are deemed to be non-adjacent.~~

(D) Cluster Required

~~The Technical Review Committee may require that cluster development be used if street right-of-way dedication is required pursuant by the Greensboro Master Transportation Plan (see NCGS 136-66.10) or the development lies partially or wholly within a Watershed Critical Area. In such case, the minimum tract requirements in Paragraph (C), may be reduced by the Technical Review Committee~~

~~**Allowed Uses**~~

~~All uses allowed under the conventional development option are allowed in a cluster development unless specifically modified by this Ordinance.~~

(E) Lot and Building Standards

1) Bulk

~~a) No building in a cluster development may be taller than the maximum allowed in the subject zoning district.~~

~~b) There is no maximum lot building coverage limit in a cluster development.~~

2) Single Family Detached

~~Each lot must have a minimum buildable area of 2,000 square feet and provide a street setback of at least ten feet (measured from the edge of the right-of-way or common elements), two side setbacks of at least five feet each, and a rear setback of at least 20 feet.~~

~~All lot size and other dimensional requirements for single family dwellings are decreased to comply with all requirements of a smaller lot RS zone (See).~~

(F) Common Elements Open Space

~~1) The sum of those areas At least 15% of the total development must be set aside as common elements open space. This open space may be comprised of: placed into common area elements for open space, those areas dedicated as dedicated public drainageway and open space (see Section XX for minimum dedication requirements) in excess of that required for such purposes, and those areas dedicated as street right-~~

of-way dedications required by the Greensboro Master Transportation Plan pursuant to (see NCGS 136-66.10). ~~must not be less than 15% of the total area of the development.~~ Strips of common ~~area elements~~ encompassing each private street may not be counted ~~as open space~~ toward this requirement.

- 2) Common elements open space areas must be used to protect natural resource areas, historic sites, or other significant features on the site or be devoted to recreational amenities that are located so as to be readily accessible, available to, and usable by all residents of the development.

~~Common area for open space must be located within the development to:~~
~~Preserve stands of trees, lakes, steep slopes, historic sites, or other significant features;~~
~~Provide common green space in the development for aesthetic purposes and pedestrian use;~~
~~Provide space for common recreation facilities and meeting places; or~~
~~Provide buffering from adjacent land uses of higher intensity.~~

- 3) Each common ~~area for~~ open space must be ~~of usable dimensions~~ at least 10,000 square feet in area and have, ~~including~~ a minimum width of 24 feet at the narrowest point to be counted toward the common open space requirement, ~~and shall be accessible to all homeowners in the development.~~

(G) Additional Standards

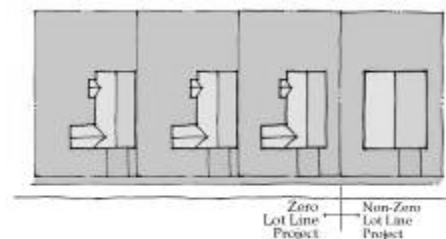
If the development is in an overlay district, additional standards may apply.

30-7-3.4 Zero Lot Line

(A) Dimensional Requirements

~~Setbacks of zero feet are permitted only where the lots on both sides of the affected lot line are part of a zero side setback development.~~

- 1) Zero lot line dwellings may be used in any district that permits single family uses provided the zero lot line development contains ten or more contiguous lots.
- 2) A wall and roof maintenance easement (five feet along one-story walls, ten feet along two-story walls) must be provided on the opposite side of the zero setback lot line.
- 3) Every lot must provide one side setback of at least twice the minimum side setback required by the zoning district.
- 4) Whenever one side setback of a lot is zero, the minimum setback on the opposite side of the same lot must be twice the minimum required by the zoning district. In no case may the separation between dwellings be less than ten feet.
- 5) Where a zero lot line project abuts a non-zero lot line dwelling on an adjoining lot, a setback equal to the district minimum for side setback must be provided.



(B) Plat Requirements

- 1) The Preliminary Plat must indicate the proposed single family dwelling footprint on each lot to show which side lot line will have a zero side setback and to show that all other required setbacks and maintenance easements are provided.
- 2) The Final Plat for a zero lot line subdivision must indicate the side lot with the zero setbacks for each lot.

~~The maximum number of lots is determined as follows:
Calculate the gross acreage of the tract excluding any existing street right of way;
subtract three fourths of the area of any drainageway and open space required to be dedicated by this Ordinance; and
Multiply by the density factor from-~~
~~TABLE 30-4-6-2~~
~~CLUSTER DEVELOPMENT LOT AND DENSITY REQUIREMENTS FOR SINGLE FAMILY DEVELOPMENT~~

<u>DEVELOPMENT ZONED</u>	<u>LOTS AND BLDGS MUST MEET REQUIREMENTS OF</u>	<u>DENSITY FACTOR PER ACRE</u>
RS-40 (WCA TIER 1)	CLUSTERING NOT AVAILABLE	---
RS-40 (WCA TIER 2)	RS-40	0.20
RS-40 (WCA TIER 3 W/O SEWER)	RS-40	0.333
RS-40 (ALL OTHERS)	RS-20	1.0
RS-30	RS-15	1.3
RS-20	RS-12	1.9
RS-15	RS-9	2.5
RS-12	RS-7	3.0
RS-9, RM-5	RS-5	4.0
RS-7, RM-8	RS-5	5.0
RM-12, RM-18	---	---
RM-26, GO-M	---	---
GO-H	RS-5	6.0

~~Note: In overlay districts, greater requirements may apply. See any relevant overlay district regulations.~~

~~Performance Standards if within a WCA or GWA: See Section 30-7-1.7 (Clustering) for additional requirements.~~

30-7-3.5 Contextual Infill Development

Editor's note: These are proposed standards intended to accommodate the majority of infill development. They have been crafted to allow an applicant (and staff) to look to the surrounding "context" for guidance in construction in existing neighborhoods. Special situations may require the creation of neighborhood specific "Neighborhood Conservation Overlays", but it is better to catch as much as possible with more general context-derived standards to compliment overlay districts. Discuss...

(A) Purpose:

These standards are intended to encourage reinvestment in existing neighborhoods and reinforce the traditional character of established neighborhoods.

(B) Description

Contextual infill development standards are designed to guide construction in already built up areas to ensure that new development or redevelopment compliments the established character of the neighborhood. These standards may modify the dimensional standards of the base district where applicable.

(C) Applicability

These standards must be used in the following situations:

1) R- Residential Single Family Districts

The contextual infill development standards must be used on any project in a Residential Single Family zoning district that is less than two acres and is surrounded on all sides by existing single family development. The Planning Director may allow these standards to be used in situations where the project is in a developed residential neighborhood but it also abuts open space or a Public or Civic use (see Article 8, District Use Requirements).

2) RM- Residential Multifamily Districts

The contextual infill development standards must be used on any site in a Residential Multifamily zoning district that is less than two acres.

3) Date of Establishment of Lots

All residential lots legally established before 1960.

4) May not be Used

Contextual infill development standards may not be used for nonresidential development in residential districts.

(D) Prevailing Lot Area

1) For single family projects (single family detached, traditional, and zero lot line), there is no minimum lot area provided all other standards are met.

2) For all other residential projects, the minimum lot area for the respective zoning district applies.

(E) Prevailing Lot Width

1) For single family projects, the minimum lot width requirement is the smaller of:

a) The average width of the adjacent lots fronting on the same linear block; or

b) The median of the widths for all other lots fronting on the same linear block.

2) For all other projects, the minimum lot width requirement for the respective zoning district applies.

(F) Prevailing Setbacks

1) Prevailing Street Setbacks

The permitted street setback in a Contextual Infill condition is determined as follows:

i) First, the underlying standard for the respective zoning district is considered the starting minimum.

ii) Then, the prevailing street setback is calculated, as follows:

In order to determine the street setback for a lot, the front street setbacks of the two buildings on either side (four total) of the subject lot are measured. The average of these four measured setbacks establishes the prevailing street setback. This prevailing street setback is the minimum street setback for the lot.

Editor's note: graphic to come.

2) Prevailing Side Setbacks

Editor's note: Do we want to establish a minimum side setback, or just make sure that new construction doesn't impose on a neighbor's privacy?

~~On a corner lot of record with a width of at least 40 feet, the side street setback may be reduced, if necessary, to yield a buildable width equal to 60% of the lot width. However, the side street setback shall not be reduced to less than 20 feet from a major thoroughfare or a minor thoroughfare right of way line.~~

a) The minimum side setback is five feet.

b) However, if the side wall of an existing structure is located on or within three feet of the adjoining property line, windows or other openings in the new structure that would allow for visibility into the side yard of the adjacent lot are not allowed unless a minimum 10-foot building separation is provided.

c) Windows that do not allow visibility into the side yard of the adjacent lot, such as clerestory windows or translucent windows, are allowed regardless of the building separation.

Develop clerestory window graphic.

~~For any lot of record with a depth of at least 75 feet, the street setback and the rear setback may be reduced, if necessary, to yield a buildable depth equal to 40% of the lot depth. The rear setback shall be reduced first, but not below 15 feet. However, the front street setback shall not be reduced to less than 40 feet from a major thoroughfare right of way line.~~

(G) Buildings

1) Context Area

The context area for measurement of standards in this section is based on any principal buildings located on lots within 150 feet of the property lines of the proposed site. Where a street crosses within this 150-foot distance, the street is considered the furthest extent of the context area (no measurements are required on neighboring blocks).

Editor's note: Graphic to be developed.

1 **2) Building Height**

2 The Traditional Building Height is established by averaging the height of the two
3 buildings on each side (four total) of the subject lot. The proposed project may not
4 exceed the Traditional Building Height by more than one story or 14 feet (whichever
5 is less).

6 **3) Build-to Line Requirement**

7 Where a consistent build-to line exists in the context area, the proposed project is
8 required to conform to this pattern. The build-to line for the proposed project is
9 calculated by averaging the build-to lines of the two buildings on either side (four
10 total) of the subject lot.

11 **4) Building Coverage**

12 Building coverage percentage requirements shall be the same as provided in the
13 Conventional Development development standards for the subject district. In cases
14 where the building coverage on the adjoining lots is higher than the building coverage
15 standard for the district, the Planning Director may approve a Type 1 Modification
16 (see Section 30-4-11, Minor Modifications) allowing an increase in building coverage
17 of up to the average building coverage of the lots on either side of the subject lot. In
18 order to pursue such an increase, the applicant must submit documentation of the
19 building coverages in a form approved by the Planning Director.

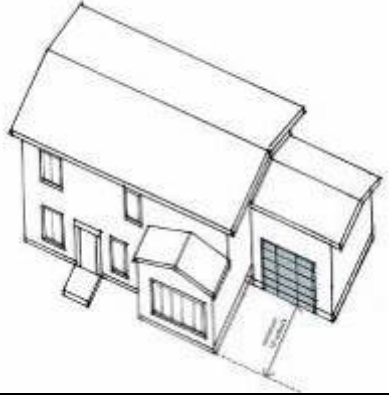
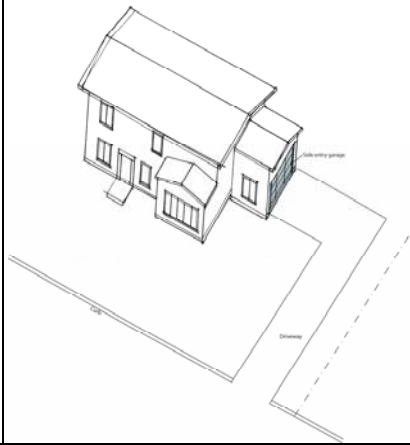

20 **5) Main Entrance**

21 Every principal structure must have a main entrance that fronts on a public street
22 other than an alley. For buildings that have more than one main entrance (e.g., a
23 duplex), all entrances are required to face a street.

24 **6) Parking, Garages, and Access**

- 25 **a)** Infill developments resulting in four or more dwelling units on a parcel must
26 locate on-site parking to the side or rear of the principal structure.
- 27 **b)** Parking areas are prohibited in the front street setback when the contextual infill
28 development standards are used.
- 29 **c)** When the contextual infill development standards are used, curb cuts for
30 driveway access from a street may not exceed 16 feet in width on lots with a
31 width of 50 feet or more. Curb cuts for driveway access may not exceed 12 feet
32 in width on lots with a width less than 50 feet.
- 33 **d)** Where access from an alley is available, access to garages and other off-street
34 parking areas must be taken from that alley.
- 35 **e)** When provided, attached and detached garages must be located behind the
36 front building line. Garages may be positioned as follows:

1

Design Alternative	Example
Position the garage or other accessory building a minimum of 10 feet behind the front wall plane of the principal building; or	
Orient the garage door perpendicular to the street; or	
Position the attached garage door flush with the front of the building, extending no more than 30% of width of the front wall plane.	

2

3

4 ~~The construction material of the garage must match that of the primary structure.~~

5

6 **(H) Additional Standards**

If the development is in an overlay district, additional standards may apply.

7

8 **(I) Application Requirements**

In addition to any other application requirements, applicants using the contextual infill option must submit detailed plans showing building footprints for existing buildings in the context area. These plans must be annotated with lot widths, building widths, building setbacks, and other information that the Planning Director may require to determine compliance with these requirements.

9

10

11

12

30-7-3.6 Nonresidential Development in Residential Zoning Districts

Editor's note: Dimensional standards for nonresidential uses are derived from Single Family requirements in the R- districts and MF standards in the RM districts.

(A) Permitted Nonresidential Uses

Nonresidential uses are permitted in Residential zoning districts in accordance with the use table in 30-8-1, Permitted Use Table, subject any applicable use limitations.

(B) Dimensional Standards

Table 7-10 Nonresidential in Residential Zoning District Dimensional Requirements ¹									
	R-3	R-5	R-7	RM-5	RM-8	RM-12	RM-18	RM-26	RM-40
Lot Dimensions (minimum)									
Lot size (sq. ft.)	12,000	7,000	5,000	7,000	5,000	5,000	4,500	4,500	4,500
Lot width (ft.)	75	50	50	50	50	50	45	45	45
Setbacks (minimum ft.)									
Street setback (measured from edge of right of way 30-7-1.4(A))									
Front	30	25	25	25	25	25	25	5	0
Side, except thoroughfare	15	15	15	15	15	15	15	10	0
Thoroughfare	35	35	35	35	35	35	35	20	0
Interior setback									
Side	10	5	5	25 feet or 20% of the building length facing the lot line, whichever is greater					
Rear	30	20	15						
Bulk (maximum)									
Height (feet) / Number of stories	50/3	50/3	50/3	50/3	50/3	50/3	50/3	80/--	120/--
Building coverage (% of lot)	30	40	45	40	45	45	45	50	N/A
Notes:									
¹ Dimensional requirements in this table may be modified by overlay district requirements.									

30-7-4 Mixed Use Zoning Districts

Editor's note: These districts have been created from the former LO, GO-M, and GO-H districts, which already allow a broad range of complimentary uses. In order to incentivize mixed use development, there are no lot size requirements for mixed residential commercial projects when compared to strictly commercial projects. Additionally, the added width-per-dwelling-unit requirement for a standard multifamily project does not apply to a mixed use project.

30-7-4.1 General Dimensional Standards

Dimensional requirements for the MU- Mixed Use zoning districts are found in the table below:

Table 7-11 Mixed Use Districts Dimensional Requirements ¹			
	MU-L	MU-M	MU-H
Lot Dimensions (minimum)			
Minimum Lot Size (sq. ft.)	20,000 ²	20,000 ²	20,000 ²
Minimum Lot Width (ft.)	170 ³	170 ³	170 ³
Setbacks (minimum ft.)			
Street setback (measured from edge of right of way 30-7-1.4(A))	15	15	0
Minimum Side and Rear Setback (ft.)			
Adjacent to RM-5, RM-8, and all R- Districts	15	15	35
Adjacent to All Other Districts	10	0 ³	0 ³
Build-To Line			
Distance from edge of street right of way (ft.)	74 ^{5,6}	56 ^{5,6}	5 ^{5,6}
Percentage of facade that must be located on or in front of the build-to-line	100	100	100
Bulk (maximum)			
Height (feet) / Number of stories	50/3	80/--	120/--
Building coverage (% of lot)	60	No Limit	No limit
Residential Component (minimum)			
Dwelling unit multiplier ⁷	8	12	14
Notes: ¹ Dimensional requirements in this table may be modified by overlay district requirements. ² Minimum lot size requirements may be waived in conformance with Section 30-7-4.2(A)7). ³ Narrower lots may be approved if in compliance with the Driveway Manual, other provisions of this Ordinance, and/or using joint and shared access. ⁴ Zero setback if no setback is provided. If setback is provided it must be a minimum of five feet. ⁵ Build-to requirements apply only to new buildings constructed after [Adoption Date]. ⁶ Build-to requirements may be modified per Section 30-7-1.5(B). ⁷ See Section 30-7-4.2(A) for residential component standards.			

Editor's note: The build-to requirements are designed to allow for a double bay of parking with 2-way traffic in the MU-L; in the MU-M the requirements allow for a single bay of parking with 2-way traffic.

30-7-4.2 General Development Standards and Guidelines in the MU- Districts

The following standards and guidelines apply to all development in an MU- District

(A) Residential Component

Commentary: There is no maximum residential density limit. However all dimensional requirements and parking requirements must be met. Certain requirements may be modified as provided by this Ordinance.

- 1) At least 30% of the development site area must be used to calculate the residential component requirement.

- 2) To calculate the number of dwelling units required, multiply the dwelling unit multiplier in the table above by the prorated residential acreage of the development site.
- 3) When calculating the number of dwelling units required, the applicant may include existing residential units located within ¼ mile (radius) of the proposed development. To be included in the calculation, the following conditions must be met:
 - a) Clearly defined pedestrian connections must be provided between the residential units and the proposed development.; and
 - b) The residential units may not be separated from the proposed development by a roadway with a classification of thoroughfare or higher.
 - c) Overnight accommodations may not be considered residential units.
- 4) For developments smaller than one acre, the Planning Director may approve a Type 1 Modification (see Section 30-4-11, Modifications) waiving the minimum residential density requirement. However, this waiver does not apply to a development that will function in conjunction with nearby developments as a single project.
- 5) The residential component may not cover more than 70% of the total site; except in vertical mixed use buildings of at least four stories where the first floor is entirely occupied by nonresidential uses.
- 6) Residential units may be located on the first floor of a mixed use building provided there is at least 1,500 square feet of nonresidential floor area on the first floor and the the building is at least two stories.
- 7) The minimum lot size requirements of the base district will be waived for mixed use buildings where at least 20% of the total floor area is developed for residential uses. However, a minimum lot depth of 100 feet must be maintained.

(B) Commercial Component

- 1) At least 30% of the total gross floor area must be designed and constructed for nonresidential (commercial) occupancy.
- 2) For developments smaller than one acre, the Planning Director may approve a Type 1 Modification (see Section 30-4-11, Modifications) waiving the minimum commercial requirement.

(C) Building Design

Commentary: Building spaces should be designed to allow maximum use flexibility and accommodate a wide range of occupants and tenants. This means that the building spaces could be easily modified for different types and sizes of users. For example, the first floor of a building may be designed to accommodate a restaurant, an office, or retail without requiring substantial structural modifications to the building.

At least one major public entrance must be oriented to each street on which the building or development fronts. Corner entrances may be used to satisfy this requirement, provided that the length of the building adjacent to the entrance does not exceed 60 feet. [Graphic to be developed]

(D) Common Public Area

Common public area must be retained for use and enjoyment of the residents and visitors of the development in conformance with Section 30-9-3(B), Common Public Area.

(E) Parking Lots, Travel Lanes, and Loading Zones

Commentary: Surface parking should be oriented behind or to the side of a building when possible; parking should be accessed from an alley when possible.

- 1)** Bicycle parking racks and similar facilities must be provided in conformance with Section 30-11-4, Bicycle Parking Facilities.
- 2)** For the purposes of building coverage calculations, parking structures with permanent retail or office spaces provided in the first floor will be counted at 50% of the total lot coverage of the parking structure.
- 3)** Drive through lanes, when allowed, must be located to the side or rear of a building and must be designed to minimize conflict with pedestrian circulation.

(F) Signs

A Common Signage Plan is required for all developments in an MU- zoning district (see Section 30-14-8, Master or Common Signage Plan).

30-7-4.3 Specific District Standards

(A) MU-L Mixed Use- Low

[Reserved]

(B) MU-M Mixed Use- Moderate

[Reserved]

(C) MU-H Mixed Use- High

[Reserved]

30-7-5 Commercial and Public and Institutional Districts

30-7-5.1 General Dimensional Standards

Table 7-12 Commercial and Public and Institutional Districts Dimensional Requirements ¹							
	C-N	C-L	C-M	C-H	CB	PI	PNR
Lot Dimensions							
Minimum Lot Size (sq. ft.)	6,000	N/A	N/A	N/A	N/A	5 Acres	10 Acres
Minimum Lot Depth (ft.)	100	100	100	100	N/A	N/A	300
Minimum Lot Width (ft.)	60	170 ²	170 ²	170 ²	N/A	170 ²	300
Setbacks (minimum ft.)							
Minimum Street Setback (ft.) (measured from edge of right of way 30-7-1.4(A))	0	15	15	15	0	15	50
Minimum Side and Rear Setback (ft.)							
Adjacent to RM-5, RM-8, and all R- Districts	5	15	15	35	10 ⁴	35	35
Adjacent to All Other Districts	0 ³	10	0 ³	0 ³	0 ^{3, 4}	20	35
Build-To Line							
Distance from edge of street right of way (ft.)	5	N/A	N/A	N/A	5	N/A	N/A
Percentage of facade that must be located on or in front of the build-to-line	65 ^{5, 6}	N/A	N/A	N/A	100 ^{5, 6}	N/A	N/A
Bulk (maximum)							
Height (ft.) / Number of Stories	50/3	50/3	80	120	No limit	120	50/3
Notes: ¹ Dimensional requirements in this table may be modified by overlay district requirements. ² Narrower lots may be approved if in compliance with the Driveway Manual, other provisions of this Ordinance, and/or using joint and shared access. ³ Zero setback if no setback is provided. If setback is provided it must be a minimum of five feet. ⁴ Zero feet, unless otherwise specified by the Downtown Design Overlay standards (see Section 30-7-8.3). ⁵ Build-to requirements apply only to new buildings constructed after [Adoption Date]. ⁶ Build-to requirements may be modified per Section 30-7-1.5(B).							

30-7-5.2 Specific District Standards

(A) C-N Commercial- Neighborhood ~~NB- Neighborhood Business~~ ~~A-C N District may not exceed three acres in area.~~

1) General

In order to encourage pedestrian activity and discourage continuous strips of commercial development, location at an intersection with existing nonresidential development is preferred.

2) Building Standards

- a) The maximum building gross floor area is ~~3,000-8,000~~ square feet, without any single establishment exceeding 4,000 square feet. However, buildings up to 15,000 square feet may be approved with a Special Use Permit (see Section 30-4-10) provided the intent of the district is met. Office or residential dwelling units located above the ground floor of the building are not counted toward the gross floor area when the ground floor is occupied by nonresidential uses.

~~Buildings must be reflective of the architectural styles, exterior materials, and colors of nearby residences.~~

- b) Pedestrian access must be located on the front of a structure and should be given priority over vehicular access. Sidewalks must have a minimum width of six feet and bicycle parking facilities should be located near entrances.
- c) Dual entrances to establishments are encouraged, allowing pedestrian access to the front of an establishment and access to a parking area through another entrance.

3) Parking

- a) The Planning Director may approve up to a 50% reduction of off-street parking requirements, in conformance with Section XX, Reduction in Parking Requirements.
- b) Off street parking lots must be located to the side or rear of a building.

4) Conduct of Operations

~~Outside storage is prohibited.~~

~~Hours of operation are restricted to between 6:00 a.m. and midnight.~~

- a) Outdoor display, service, or storage is prohibited.
- b) Outdoor seating or eating areas up to 500 square feet in area allowed.
- c) Drive-through facilities are prohibited.

~~Drive thru sales and services are not permitted.~~

~~A maximum of two (2) dwelling units are permitted above each business.~~

(B) C-L Commercial- Low Limited Business (LB):

The maximum gross floor area per building is 50,000/40,000 square feet. Office or residential dwelling units located above the ground floor of the building are not counted toward the gross floor area when the ground floor is occupied by nonresidential uses.

~~No more than 100,000 square feet of gross floor area shall be permitted per development.~~

(C) C-M Commercial- Medium

[Reserved]

(D) C-H Commercial- High

[Reserved]

(E) CB Central Business

Development in the CB District must comply with the Downtown Design Overlay Guidelines (see Section 30-7-8.3).

(F) PI Public and Institutional

[Reserved]

(G) PNR Parkland and Natural Resource Areas

[Reserved]

30-7-6 Industrial Zoning Districts

30-7-6.1 General Dimensional Standards

Table 7-13 Industrial Districts Dimensional Requirements			
	O-BP	LI	HI
Development Standards			
Minimum Development Size (acres)	25	-	-
Minimum Perimeter Setback from Residential Zoned Property	25	25	50
Lot Standards			
Minimum Lot Size (square feet)	15,000	20,000	20,000
Minimum Lot Width (ft.)	75	100	100
Minimum Street Setback (feet) (measured from edge of right of way 30-7-1.4(A))			
Local and Collector	25	25	25
Thoroughfare	30	30	30
Minimum Interior Setbacks (feet)	0/5 ¹	0/5 ¹	0/5 ¹
Bulk			
Maximum Height (feet)			
Adjacent to Residential Districts	50 ²	50 ²	50 ²
Adjacent to all other Districts	150	150	150
Notes: ¹ Dimensional requirements in this table may be modified by overlay district requirements. ¹ Zero setback if no setback is provided. If setback is provided it must be a minimum of 5 feet. ² Maximum height without additional setbacks. Building height may be increased to 150 feet as follows: for buildings up to 80 feet in height, 1 additional foot of setback (from lot line adjoining Residential District) must be provided for each foot of building height above 50 feet; for buildings over 80 feet in height, the required perimeter setback must be increased by 30 feet, <u>no additional setback is required.</u>			

30-7-6.2 Specific Zoning District Standards

(A) O-BP Office Business Park~~Corporate Park District (CP):~~

- 1) Outside manufacturing or processing is prohibited.
- 2) Loading areas and outside storage facilities shall may not be located ~~on the side of a building facing a~~ between the front of a building and a public street or in any required setback.
- 3) Loading areas must be setback at least 50 feet from residentially zoned areas.
- 4) Loading areas facing public streets, and/or residentially zoned property must be screened in compliance with Section XX;
- 5) Outside storage facilities ~~shall may~~ not ~~cover occupy~~ an area ~~exceeding greater than twenty-five percent (25%)~~ 50% of the ground level gross floor area of the principal building(s).

~~shall be restricted to the area between the rear property line and the building(s); and~~

(B) LI- Light Industrial

Outside manufacturing or processing is prohibited.

~~Loading areas facing a street, residential land uses, or residentially zoned property shall be screened~~

(C) HI- Heavy Industrial

[Reserved]

Editor's note: Screening standards will be revised and moved to one section on general screening requirements in a later module. Current standards are below.

from view at a height of six (6) feet above ground level, as seen from the centerline of any adjacent public street or from the property line where no adjacent street exists. Existing or newly planted vegetation, opaque or solid fencing, masonry walls, earthen berms or mounds, other structures, or any combination thereof may be used to achieve an effective screen. Plantings used as screening material shall be of such variety and size as to obscure at least fifty percent (50%) of the desired view at the time of planting, as determined by the Enforcement Officer. Plantings, walls, mounds, or other devices shall be used also to block or diffuse spillover light from vehicles and to muffle or otherwise lessen ambient noise levels at the property line, where adjacent to residential uses. The design and content of required screening shall be included with required landscaping plans for review and approval by the Enforcement Officer.

30-7-7 Special Districts

30-7-7.1 PUD- Planned Unit Development

(A) Relationship to Other Applicable Regulations

Unless specifically modified in this Section, ~~all development in a PUD district, planned unit development~~ must comply with all of the applicable standards, procedures, and regulations in other sections of this Ordinance.

(B) Establishment of a Planned Unit Development

1) Zoning Map Amendment

A PUD may be established as provided in Section 30-4-6, Zoning Map Amendments-Planned Unit Developments.

2) Unified Development Plan

See Section 30-4-15.1(C), Unified Development Plans for plan requirements.

(C) Minimum Size

There is no minimum size requirement for establishing a PUD district.

(D) Permitted Uses

Within a PUD district, all uses are allowed except agricultural uses and all uses allowed in the Light Industrial and Heavy Industrial zoning districts.

(E) Phased Development

Planned unit developments may be developed in phases provided that open space and common facilities are included such that at any given phase of development the cumulative area of open space in all recorded phases and the total number of dwelling units and the

gross land area devoted to nonresidential land uses approved in those phases comply with Section XX (Open Space and Common Recreational Facilities).

~~Minimum Size and Uses Allowed~~

~~Conditional—Planned Unit Development—Residential (CD-PDR):~~

~~Minimum Size~~

~~No CD-PDR District shall be approved for a site of less than 25 contiguous acres under unified ownership or control.~~

~~Uses Allowed~~

~~A CD-PDR District allows all uses permitted in residential districts, in the Neighborhood Business (NB) District, or in the Limited Office (LO) District.~~

~~Conditional—Planned Unit Development—Mixed (CD-PDM):~~

~~Minimum Size~~

~~No CD-PDM District shall be approved for a site of less than 25 contiguous acres under unified ownership or control.~~

~~Uses Allowed~~

~~A CD-PDM District allows all permitted uses except those uses which are only allowed in the Heavy Industrial (HI) District or the Agricultural (AG) District.~~

~~Conditional—Planned Unit Development—Infill (CD-PDI):~~

~~Minimum Size~~

~~No CD-PDI District shall be approved for a site of less than one-half acre or greater than 25 contiguous acres under unified ownership or control.~~

~~Location~~

~~A CD-PDI District shall only be approved if it is surrounded by properties that are improved or had previously been improved (with buildings or structures). The district cannot be established where the subject property or adjacent property has been in agricultural production within the past five years.~~

~~Uses Allowed~~

~~A CD-PDI District allows all the uses permitted in residential, office, and commercial districts.~~

(F) District Standards

Those development standards in Articles IV, V, and VI pertaining to density, size, location, and arrangement of buildings and structures; lot dimensions; and landscaping are waived in CD-PDR, CU-PDM, and CU-PDI Districts. The development standards in this Section, any in the approved Conditional Zoning Site Concept Plan, and those in the approved Unified Development Plan govern development within a PUD.

1) Environmentally Sensitive Areas

The following must be left natural and undisturbed except for street crossings, utilities, and erosion control devices:

a) Land within a Floodway or Floodway Fringe; and

b) Wetlands, steep slopes, and other critical ecological areas.

1 **2) Density**

2 Provisions governing the maximum residential density of the development are
3 established by the Concept Plan.

4 **3) Minimum Lot Size**

5 Provisions governing minimum lot size are established by the Unified Development
6 Plan.

7 **4) Minimum Perimeter Setback**

8 For portions of the development adjoining any R- district, the interior setback
9 standards of the adjoining district apply along the adjoining lot line.

10 **5) Minimum Street Setbacks**

11 Provisions governing minimum street setbacks are established by the Unified
12 Development Plan.

13 **6) Minimum Interior Setbacks**

14 The minimum interior setback is zero feet. However, if a setback is provided, it must
15 be at least five feet.

16 **7) ~~Dimensional Standards~~Maximum Height**

17 ~~The dimensional standards of this Ordinance are waived in CD-PDR, CD-PDM, and CD-PDI~~
18 ~~Districts except that:~~

19 Within 50 feet of any R- district, the maximum height of a building may not exceed 50
20 feet or three stories. Provisions governing maximum height may be waived for all
21 other portions of the development.

22 ~~In CD-PDR and CD-PDM Districts, within 50 feet of any RS district the height regulations of~~
23 ~~that RS district shall apply.~~

24 ~~No lots for single family detached dwellings shall be less than 5,000 square feet in area.~~

25 **8) Open Space and Common Recreational Facilities:**

26 Open space must conform to the general open space design requirements in Section
27 30-9-3, Open Space and Recreational Facilities.

28 **9) Access**

29 a) Access and maintenance easements must be provided where necessary. Areas
30 between structures must be covered by easements where necessary for access
31 and to provide for maintenance and utility service.

32 b) Primary vehicular access to office, commercial, or industrial development may
33 not be through intervening residential development.

34 **10) Commercial Areas**

35 Commercial areas and adjacent residential, office, and industrial areas ~~in all CD-PD~~
36 ~~Districts shall~~must be arranged to provide pedestrian access and circulation between
37 and within such areas.

38 **11) Parking and Loading**

39 Off-street parking must be provided in accordance Article 11, Off-Street Parking and
40 Loading. ~~The Technical Review Committee/Planning Board may approve a reduction~~

in the number of spaces if the Unified Development Plan provides convenient pedestrian and/or bicycle access among uses.

=====

Commercial uses in a CD-PDR District shall be located on and shall face an internal street of the development.

Ten percent of the total land area in a CD-PDR District may be occupied by or used for commercial purposes, provided that at no time shall the cumulative amount of land developed for commercial purposes exceed the cumulative amount of land developed for residential purposes. Commercial areas are permitted in a CD-PDR District if they are designed and located to serve primarily the residents of the planned unit development.

12) Local Street Design

Streets must be designed and located so that they are integrated into and provide continuations of the surrounding street network.

Local streets shall be located and designed so that they do not encourage through access by traffic with origins and destinations outside of the development.

Context

The height, building coverage, setbacks, and land uses along the perimeter of all CD-PD Districts shall be in harmony with development on adjacent lands. Such boundary treatment is not required where the perimeter of a CD-PDR, CD-PDM, or CD-PDI District is along the right-of-way of a railroad or street that is already constructed or is being constructed as part of the planned unit development. At other locations, development in a CD-PDR or CD-PDM District shall either provide a Type A planting yard or comply with 1) or 2) of the following, and development in a CD-PDI District shall comply with 3) and 4) of the following.

The scale and setbacks of buildings and structures in a CD-PDR and CD-PDM District within 150 feet of the perimeter of the planned unit development shall be in harmony with development on adjacent lands.

No commercial or industrial use in a CD-PDR or CD-PDM District shall be permitted within 150 feet of the perimeter of the planned unit development unless the adjacent zoning district permits the same or a similar use adjacent to the perimeter at the time of zoning district approval.

Where a CD-PDI District is established on property which shares a block face with property already improved (with buildings and structures), development within the CD-PDI shall not exceed the maximum or minimum height, lot coverage, or setbacks set by those improvements.

No nonresidential use in a CD-PDI District shall be permitted within 75 feet of the perimeter of a planned unit development, unless the adjoining zoning district permits the same or similar uses adjacent to the perimeter.

13) Signs

- a) The Common Sign Plan element of the Unified Development Plan must specify the size, type, height, setback, location, design, illumination, and number of signs. Specifications must be at least as restrictive as the regulations of the zoning districts designated below unless exceptions are approved by the Planning Board. However, the Planning Board may not approve an exception to the types of signs permitted.

Predominant Use in Section of PUD	No Less Restrictive than
Residential areas	RM-12
Office areas	MU-L
Commercial areas	C-L
Industrial areas	O-BP

- b) All signs must use a coordinated color, style, and lettering scheme shown on the Common Sign Plan.

14) **Landscaping**

Provisions governing landscaping are established by the Unified Development Plan.

30-7-7.2 TN Traditional Neighborhood Districts

Editor's note: Staff is currently reviewing the TN District standards and proposed changes will be forthcoming. Following is the existing language from the current UDO with minor changes.

(A) Development Standards

- 1) No more than 3,000 square feet of gross floor area per commercial ~~use shall be structure is~~ permitted on a lot unless a greater floor area is established as a development condition in Section 30-8-4, Additional Development Standards. ~~30-5-2, Development Standards for Individual Uses.~~
- 2) Outside storage is prohibited.
- 3) Hours of operation are restricted to between 6:00 a.m. and midnight.
- 4) Drive-thru sales and services are prohibited.
- 5) ~~Exterior lighting is limited to indirect illumination and safety lighting, and (for signs only) cut out letter lighting. All exterior lighting shall be located, angled, shielded, and/or limited in intensity so as to cast no direct light upon adjacent properties.~~ Except for street lighting, no exterior lighting ~~shall~~ may be located higher than 15 feet above ground or pavement.
- 6) Parking areas must be located at the rear or at the side of buildings and must be screened from the sidewalk by low walls, fences, or hedges.
- 7) Parking lots and garage doors are discouraged from fronting on the street.
- 8) Where possible, access to off-street parking areas should be from the rear of the lot.
- 9) Parking lots and parking garages may not abut street intersections, be adjacent to squares or parks, or occupy lots that terminate a vista.
- 10) Adjacent parking areas must have vehicular connections via an alley or internally.
- 11) Where adjacent on any side to a residential use, an off-street parking area must be adequately screened and landscaped to buffer the residential use in accordance with the adopted Traditional Neighborhood Development Plan.

~~Upper story residential dwelling units may be provided on the upper levels of a building containing a first floor commercial or office use in accordance with the density set forth in Table 30-4-6-6.~~

- 12) If architectural standards ~~are employed~~ have been adopted as part of the Traditional Neighborhood Development Plan, all architectural plans for new buildings, expansions, and remodelings, shall be reviewed by a Town Architect retained by the developer for conformance with the architectural standards and the Traditional Neighborhood Development Plan.

(B) General Design Guidelines

1) Compatibility of Design:

- a) Buildings within a block face must reflect a continuity of building scale at the building line.
- b) A consistent building line should be maintained at the setback line along the street. However, projections of porches, bay windows, stoops, and other minor building masses into the street setback are encouraged in order to create an interesting block character. Large street setbacks to accommodate parking lots in front of a building are prohibited.
- c) In areas of mixed residential types, the height and massing of a building may not be more than twice the height and massing of structures adjacent to or across the street from the building.
- d) A commercial or mixed-use building must integrate its appearance with the area and may not exceed twice the height and massing of adjacent buildings

2) Human Scale Design

Human scale design typically reflects the elements listed below.

- a) Buildings that avoid long, monotonous, uninterrupted walls or roof planes. Blank, windowless walls are generally not allowed along street frontages. Where solid walls are required by building codes, the wall should be articulated by the provision of blank window openings trimmed with frames, sills, lintels, or if the building is occupied by a commercial use, by using recessed or projecting display window cases;
- b) Commercial structures that incorporate awnings or arcades, which may project over the sidewalk into the street right-of-way with city approval;
- c) Ground floor retail, service, restaurant, and other commercial uses with transparent display windows on a minimum of 50% of the first floor front to provide views into the interior of buildings;
- d) Entrances and storefronts facing the street;
- e) Doors, windows, balconies, porches, and roof decks with visibility of the street and other public spaces to encourage social interaction;
- f) Porches generally as a significant element of the house design, located on the front or side of the dwelling; and
- g) Rear vehicle access from an alley as a preference. However, if a garage is oriented toward the street, it must be located a minimum of 20 feet behind the front façade of the principal structure. Freestanding garages and carport structures for multiple dwelling unit buildings must be designed to be integral with the building design or sited so as to avoid long and monotonous rows of garage doors and long monotonous building walls.

3) Guidelines for the Provision of Traditional Neighborhood Open Space

- a) Traditional neighborhood open space should be incorporated as a fundamental element of the Plan.
- b) ~~The purpose of this subsection is to provide and~~ Open spaces should emphasize safe and inviting traditional neighborhood ~~open spaces~~ areas such as squares, parks, and greenways, ~~and to~~ Such areas should be integrated ~~them~~ into the neighborhood pattern for the active and passive enjoyment of neighborhood residents.
- c) Traditional neighborhood open space should be planned and improved to be highly accessible and usable by persons living or working nearby. Except for areas designated as preserves, it should be cleared of underbrush and debris and may contain one or more of the following or similar improvements: landscaping, walks, benches, seating areas, fountains, ponds, ball fields and playground equipment. Significant stands of trees, streamside areas, and other valuable topographic features should be preserved within the open space areas.

30-7-8 Overlay Zoning Districts

Commentary: This section contains the general standards of the various overlay districts. Specific standards for certain overlay districts are found in separate plans and/or design guidelines.

Editor's note:

The specific requirements of established overlay districts have been deleted from the ordinance and are available in separate district design guidelines.

The provisions regarding the process for establishing an overlay are located in Article 4 under the rezoning discussion.

30-7-8.1 General

Overlay zoning is generally used when there is special public interest that doesn't coincide with the base zoning districts in a particular geographic area. It is a mapped area that may either impose additional restrictions or relax certain provisions of the underlying zoning district.

30-7-8.2 –AC, Activity Center Overlay Districts

(A) Establishment of an Activity Center Overlay

1) An Activity Center Overlay District may be established as provided in Section 30-4-8.1.

2) The following Activity Center Overlay Districts have been established. See official zoning map for district boundaries.

a) [Reserved]

(B) Conformance with Activity Center Master Plan

Most development and construction activity within an Activity Center Overlay District must conform to the adopted master plan for the subject district.

(C) Standards

[Reserved]

30-7-8.3 –DDO, Downtown Design Overlay

(A) Establishment of a Downtown Design Overlay

1) A Downtown Design Overlay District may be established as provided in Section 30-4-8.2.

2) The following Downtown Design Overlay Districts have been established. See official zoning map for district boundaries.

a) [Reserved]

(B) Conformance with District Design Guidelines

Most development and construction activity within a Downtown Design Overlay District must conform to the adopted design guidelines for the subject district.

(C) Standards

[Reserved]

30-7-8.4 –HDO, Historic District Overlay

(A) Establishment of a Historic District Overlay

1) A historic district overlay may be established as provided in Section 30-4-12.1.

2) The following historic districts overlays have been established. See official zoning map for district boundaries.

a) Charles B. Aycock.

b) College Hill.

c) Fisher Park.

(B) Conformance with District Design Guidelines

Most development and construction activity within a historic district overlay must conform to the adopted design guidelines for the subject district. Furthermore, a Certificate of Appropriateness may be required. See Section 30-4-12.4 for applicability and exceptions.

30-7-8.5 –NCO, Neighborhood Conservation Overlay Districts

Editor's note: The NCO is being developed as a tool to accommodate appropriate infill in already built up areas that have special character warranting additional protection beyond the provisions of the underlying zoning district. Council has elected to fast-track these provisions and they are being considered outside of the general LDO rewrite process.

30-7-8.6 –PSO, Pedestrian Scale Overlay Districts

(A) Establishment of a Pedestrian Scale Overlay

1) A Pedestrian Scale Overlay District may be established as provided in Section 30-4-8.4.

2) The following Pedestrian Scale Overlay Districts have been established. See official zoning map for district boundaries.

a) East Market Street.

(B) Conformance with District Design Guidelines

Most development and construction activity within a Pedestrian Scale Overlay District must conform to the adopted design guidelines for the subject district.

~~East Market Street Pedestrian Scale Overlay District Established~~

~~The East Market Street Pedestrian Scale Overlay District is hereby established as a Pedestrian Scale Overlay District.~~

~~Purposes of the Overlay District~~

~~The East Market Street Pedestrian Scale Overlay District regulations, adopted and prescribed in this Ordinance, are found by the City Council to be necessary and appropriate to:~~

~~Revitalize a commercial corridor so as to serve the needs of the community, including the adjacent university and college communities;~~

~~Modify the image of the corridor, moving away from the existing vehicular-oriented thoroughfare to an image which is attractive to pedestrian access and use;~~

~~Encourage a desirable and mutually supportive mix of uses in close proximity to each other;~~

~~Provide commercial and employment opportunities which are easily accessible to neighborhood residents;~~

~~Create a corridor with a distinct sense of place and character;~~

~~Encourage high quality building and site design;~~

~~Encourage uses of a specific character, type; and market;~~

~~Encourage a corridor character that is both attractive and compatible between public and private spaces; and~~

~~Implement the East Market Street Corridor Development Plan.~~

~~Use Limitations:~~

~~First Floor Uses~~

~~Uses on the first floor shall be limited to those Retail Trade uses; Business, Professional, & Personal Services uses; Educational & Institutional uses; and Manufacturing and Industrial uses permitted by right, with development standards, or with Special Use Permit in the underlying zoning district.~~

~~Upper Floor Uses~~

~~Uses on all floors above the first floor shall be limited to those uses permitted by right, with development standards, or with Special Use Permits on the first floor, or any residential use listed under the Residential Uses subsection of Table 30-4-5-1.~~

~~Building Setback and Set-to Lines:~~

~~Street Setbacks~~

~~Minimum building setback from the public right-of-way shall be not less than one (1) foot.~~

~~Where existing buildings along a block face between two intersecting streets establish a uniform building setback line, new buildings shall conform to that established setback.~~

~~Rear Setbacks~~

~~Minimum building setback from the rear property line shall be not less than forty five (45) feet.~~

~~Other Interior Setbacks~~

~~Minimum building setback from other interior property lines shall be zero (0) feet. Where buildings are set back from interior property lines, not less than ten (10) feet shall separate buildings on adjacent lots. Where buildings are set back less than five (5) feet from interior property lines, permanent easements over five (5) feet of the adjacent property must be obtained and recorded in the Office of the County Register of Deeds so as to permit maintenance.~~

~~Building Height:~~

~~The maximum building height shall not exceed fifty five (55) feet.~~

~~Where existing structures within the block face between two intersecting streets establish a uniform building height of less than fifty five (55) feet, the maximum building height shall not exceed that uniform building height by more than fifty percent (50%) of that uniform building height, nor fifty five (55) feet.~~

~~Building Materials:~~

~~Neither concrete block (with the exception of architectural split face block) nor corrugated metal may be used as a primary material for the exterior walls or surfaces of a building.~~

~~Primary materials for walls and facades visible from the right-of-way shall be limited to brick, masonry units, glass, and metal accents.~~

~~Signs~~

~~Except as provided below, signs shall meet the requirements of Section.~~

~~c)Wall Signs~~

~~Horizontal wall signs are encouraged. No wall sign may project more than six inches into the public right-of-way.~~

~~a)Freestanding Signs~~

~~Freestanding signage requiring a permit shall be limited to monument signs. No sign exceeding 150 square feet shall be permitted within the Pedestrian Scale Overlay District.~~

~~b)Projecting Signs~~

~~No more than one (1) right-angle sign is allowed for each business entrance. The bottom of a projecting sign must be at least eight feet above any sidewalk, parking area, or other paved area. The area of a projecting sign will be calculated in the overall attached signage and shall not exceed twenty four (24) square feet maximum area on each side.~~

~~9)Building Lighting:~~

~~a)Property owners and managers are encouraged to safely illuminate building entry/exit locations; however, such areas shall only be illuminated using shielded lighting or off building lighting that does not generate glare or otherwise allow the light to be viewed directly from off the property.~~

~~b)Building walls may be illuminated.~~

~~10)Parking:~~

~~a)Minimum Parking Requirements~~

~~In those portions of the Overlay District with underlying zoning of GB, GO-H and HB, a minimum of one for each 300 square feet of retail or office gross floor area shall be provided on site, except as modified below.~~

~~b)Parking Credits and Exceptions~~

~~Editor's note: This section may be replaced with a standard set of alternative parking provisions that may be applied city-wide.~~

~~i)In all areas, on-street parking spaces on the right-of-way between the two side lot lines of the site may be counted to satisfy the minimum off-street parking requirements.~~

~~ii)Where parking is available off-site within 400 feet of the front entry to the building, and that parking is owned or controlled under a permanent and recorded parking encumbrance agreement for use by the occupants or employees on the site, said parking may be counted to satisfy the off-street parking requirements.~~

~~iii)In those portions of the Overlay District with underlying zoning of GB, GO-H and HB and which are occupied as a retail use, all parking all parking located behind the front setback of the building shall be double-counted so that each such parking space behind the front setback shall~~

be counted as if it were two (2) spaces available to satisfy the off-street parking requirements for such retail use.

iv) it can be demonstrated through a documented parking study that the demand for parking of the combined uses of two (2) or more buildings can be satisfied with the shared and jointly accessible off-street parking available to those buildings, then a special exception to these parking requirements may be granted by the Board of Adjustment to satisfy the minimum parking requirements.

e) Location

All parking serving the site and counted toward minimum parking requirements shall be located on the site, on the street as allowed in (b)(1) above, and/or within 400 feet of the site.

9) Parking Structures:

a) No parking structure may be designed or installed so as to present to the street or public right-of-way an elevation or façade with openings, fenestrations, and structural elements which are of a slanted or diagonal nature reflecting the incline of ramps.

b) Any parking structure exceeding twenty-five (25) feet in height shall be set back from the right-of-way a minimum of one (1) horizontal foot for each two (2) vertical feet of height.

12) Spacing and Number of Vehicular Access Points:

a) Separation between access points on all state highways shall be in accordance with North Carolina Department of Transportation Access Classification System & Standards.

b) No more than one (1) vehicular access to East Market Street shall be permitted on any site unless one (1) such access is shared between the subject site and an adjacent site.

c) Upon review of traffic, circulation, and pedestrian safety issues, the Greensboro Department of Transportation (GDOT) may approve additional driveway access points for a given site.

13) Cross Access

Each site shall provide cross access point and cross access easement to allow circulation between sites. Property owners shall:

Record an easement in the Office of the County Register of Deeds allowing cross access to and from the adjacent properties;

Agree that any pre-existing driveways, in excess of those permitted herein, shall be closed and eliminated after construction of the joint use driveway; and

Record a joint maintenance agreement in the Office of the County Register of Deeds defining maintenance responsibilities of property owners that share the joint use driveway and cross access system.

Pedestrian Sidewalks:

Whenever a building is set back from the sidewalk or street right-of-way, an uninterrupted, hard surface sidewalk of not less than five (5) feet in width shall be installed and maintained to connect the public sidewalk with the principal entry to the building.

Sidewalks shall be provided along the length of any façade abutting parking areas. Such sidewalks shall be located at least four feet from the façade of the building to provide planting beds for foundation landscaping.

Pedestrian circulation shall be provided between abutting properties through the use of walkways or unidentifiable pathways.

Site Landscaping and Lighting:

The standards for site landscaping and site lighting established for the underlying zoning and use shall govern the development and redevelopment of property within the Overlay District.

~~Exceptions from underlying site landscaping and lighting standards may be approved as part of site plan review by the Technical Review Committee where it is shown that said landscaping and lighting meets the guidelines identified in the East Market Street Pedestrian Scale Overlay Plan.~~
~~Screening:~~
~~Utility connections and equipment shall be enclosed or screened from view from public areas of the site, including from parking lots.~~
~~Trash containers, compactors, dumpsters, and storage areas shall be placed on a concrete pad and surrounded by a fence or wall enclosure (of not less than the height of trash or storage to be screened) of durable materials compatible in design with the building and building materials.~~
~~Loading docks shall be screened from view from the street right-of-way.~~

30-7-8.7 –SCO, Scenic Corridor Overlay Districts

Editor's note: Staff is reviewing SCODs and may propose text amendments prior to LDO adoption

(A) Establishment of a Scenic Corridor Overlay

- 1) A Scenic Corridor Overlay District may be established as provided in Section 30-4-8.5.
- 2) The following Scenic Corridor Overlay Districts have been established. See official zoning map for district boundaries.

a) North Carolina Highway 68

The NC Highway 68 Scenic Corridor Overlay District is bounded by all land which is located within 1,500 feet on either side of the centerline of NC Highway 68 is included within the overlay zone, except that the overlay zone on the east side of NC Highway 68 beginning at its intersection with Market Street and continuing north along NC Highway 68 for 1,000 feet only includes land located within the centerline of NC Highway 68 and the centerline of Burgess Road. Any area annexed into the City that is located within 1,500 feet on either side of the centerline of NC Highway 68 will be included effective upon annexation.

b) Urban Loop

i) SCO-1 Scenic Corridor Overlay District-1

The following controlled access highways or portions thereof are included in the SCO-1 District:

- a. From 1,000 feet east of the centerline of North Elm Street and the Urban Loop eastward to 1,500 feet east of the centerline of U.S. 220 and the Urban Loop; and
- b. From 1,500 feet north of the centerline of Bryan Boulevard and the Urban Loop eastward to 1,000 feet west of the centerline of Battleground Avenue and the Urban Loop.
- c. Interchanges included in the SCO-2 District are exempt from the requirements for SCO-1.
- d. Any area listed above annexed into the City that is located within 1,000 feet on either side of the centerline of the Urban Loop will be included effective upon annexation.

ii) **SCO- Scenic Corridor Overlay District-2**

The following controlled access highways or portions thereof are included in the SCO-2 District:

- a. From 1,500 feet east of the centerline of U.S. 220 and the Urban Loop westward to 1,500 feet north of the centerline of Bryan Boulevard and the Urban Loop;
- b. From 1,000 feet west of the centerline of Battleground Avenue and the Urban Loop eastward to 1,000 feet east of the centerline of North Elm Street and the Urban Loop;
- c. From 1,000 feet west of the centerline of Yanceyville Street and the Urban Loop to 1,000 feet east of the centerline of Yanceyville Street and the Urban Loop;
- d. From 1,500 feet northwest of the centerline of U.S. 29 and the Urban Loop to 1,500 feet southeast of the centerline of U.S. 29 and the Urban Loop;
- e. From 1,000 feet north of the centerline of Huffine Mill Road and the Urban Loop to 1,000 feet south of the centerline of Huffine Mill Road and the Urban Loop;
- f. From 1,000 feet north of the centerline of Wendover Avenue and the Urban Loop to 1,000 feet south of the centerline of Wendover Avenue and the Urban Loop;
- g. From 1,500 feet north of the centerline of I-85/40 and the Urban Loop to 1,500 feet south of the centerline of I-85/40 and the Urban Loop;
- h. From 1,000 feet east of the centerline of Youngs Mill Road and the Urban Loop to 1,000 feet west of the centerline of Youngs Mill Road and the Urban Loop;
- i. From 1,000 feet northeast of the centerline of Alamance Church Road and the Urban Loop to 1,000 feet southwest of the centerline of Alamance Church Road and the Urban Loop;
- j. From 1,500 feet east of the centerline of U.S. 421 and the Urban Loop to 1,500 feet west of the centerline of U.S. 421 and the Urban Loop;
- k. From 1,000 feet east of the centerline of South Elm-Eugene Street and the Urban Loop to 1,000 feet west of the centerline of South Elm-Eugene Street and the Urban Loop;
- l. Any area listed above annexed into the City that is located within 1,000 feet on either side of the centerline of the Urban Loop will be included effective upon annexation.

(B) Conformance with District Design Guidelines

Most development and construction activity within a Scenic Corridor Overlay District must conform to the adopted design guidelines for the subject district.

(C) General Requirements in any Scenic Corridor Overlay

The following general requirements will apply ~~to the~~ in any Scenic Corridor Overlay District:

- 1) ~~For the purposes of this Ordinance, a Scenic Corridor Overlay District is a district that supplements the underlying zoning district established on the site. In addition to the requirements of the underlying zoning district(s), the requirements herein shall apply to all new construction, additions, alterations, or expansions to existing buildings, parking lots or vehicular storage areas, unless explicitly exempted. Except where specifically modified by the Scenic Corridor Overlay District standards, all uses in the Overlay must comply with the requirements of the underlying zoning district. In situations where the standards of the Overlay are in conflict with the standards of the underlying district, the more restrictive standards govern.~~
- 2) ~~All uses permitted in the underlying zoning districts are allowed as regulated by said districts in the Scenic Corridor Overlay subject to the requirements of the Overlay District.~~

~~NC Highway 68 Scenic Corridor Overlay District Established: The NC Highway 68 Scenic Corridor Overlay District is hereby established.~~

~~Applicability:~~

~~Application~~

~~The NC Highway 68 Scenic Corridor Overlay District regulations apply to all principal buildings on lots or open uses of land constructed, reconstructed, or established after the effective date of this Ordinance (October 2, 2001), except as exempted or otherwise provided in Subsections (D)(2)(b) and (D)(2)(c) below.~~

~~Exemptions~~

~~The NC Highway 68 Scenic Corridor Overlay District regulations do not apply to:~~

~~Single family detached dwellings or two family dwellings on their own lots.~~

~~ii) A change in use, which does not result in an increase of two (2) or more in the Land Use Classification number. The requirements of this section apply to the entire zone lot.~~

~~Those buildings and their accessory uses including parking or vehicular storage areas existing on the effective date of this Ordinance (October 2, 2001) whose gross square footage of building, parking area, or open use of land is not expanded in excess of three thousand (3,000) square feet of that which existed on the effective date of this Ordinance (October 2, 2001).~~

~~Those projects that have an approved Site Specific Development Plan in compliance with Section 30-3-18.2 (Zoning Vested Rights).~~

~~Expansion of Existing Uses~~

~~For those buildings, parking areas, or open uses of land which are expanded in excess of three thousand (3,000) square feet of their gross square footage after the effective date of this Ordinance (October 2, 2001) the following requirements must be met:~~

~~Required planting yards must be provided. In locations where the entire width of the required planting yard cannot be provided due to existing development, planting yards must be provided to the extent possible, with no reduction in the size or numbers of required plantings.~~

~~The expanded portion only of any new parking lot or vehicular storage area must meet the full landscaping and screening requirements for parking and vehicular surface areas.~~

~~Nonconforming signage must comply with Section 30-5-5.11.~~

~~Landscaping and Screening Requirements~~

1 ~~Landscaping and screening must be in accordance with the following requirements. In case of~~
2 ~~conflict with the landscape and tree preservation requirements of Section 30-5-4, the stricter~~
3 ~~standard applies.~~

4 ~~Planting yards for lots that do not have frontage on NC Highway 68 must be provided as~~
5 ~~required by Section 30-5-4.~~

6 ~~Street planting yards along NC Highway 68:~~

7 ~~May be used in a limited fashion for signage, walkways, fountains and other amenities, as long~~
8 ~~as no more than fifteen percent (15%) of the yard is covered with impervious surfaces;~~

9 ~~Must be a minimum of twenty (20) feet in width, and have an average width of thirty (30) feet;~~

10 ~~Must have the following planting rates:~~

11 ~~Four (4) canopy trees for every one hundred (100) linear feet;~~

12 ~~Four (4) understory trees for every one hundred (100) linear feet;~~

13 ~~Thirty four (34) shrubs for every one hundred (100) linear feet; and~~

14 ~~There must be at least one (1) canopy tree for every fifty (50) linear feet.~~

15 ~~Where unreasonable or impractical situations would result from application of landscaping or~~
16 ~~tree preservation requirements, alternate methods of compliance may be used as described in~~
17 ~~Section 30-5-4.9.~~

18 ~~Parking and Loading Areas:~~

19 ~~If a lot adjacent to NC Highway 68 has a parking lot located between the right-of-way and the~~
20 ~~principal building line, the parking lot must be screened at a height of four and one-half (4.5) feet~~
21 ~~and may be augmented with earthen berms or mounds, existing vegetation, solid fencing,~~

22 ~~masonry walls or any combination thereof to take advantage of site topography for maximum~~
23 ~~screening. Tree preservation considerations do not eliminate the requirement for landscape~~
24 ~~plantings to screen such a parking lot. The intent of this requirement is to screen parking areas~~
25 ~~solely and should not be applied so as to eliminate building visibility.~~

26 ~~Loading areas, docks, and doors are restricted to the area between the rear property line and the~~
27 ~~principal building(s), as viewed from NC Highway 68. Loading areas, docks, and doors may be~~
28 ~~located on the side of a principal building if fully screened as much as reasonably possible from~~
29 ~~ground level view from NC Highway 68.~~

30 ~~Accessory outside storage areas, trash rooms, garbage containers, or trash holding receptacles~~
31 ~~must be fully screened as much as reasonably possible from ground level view from NC~~
32 ~~Highway 68.~~

33 ~~Parking lot and perimeter lighting must include diffusers or minimal wattage bulbs that minimize~~
34 ~~glare to adjoining roadways and properties. Lighting levels measured at the edge of the property~~
35 ~~may not exceed three (3) footcandles.~~

36 ~~Signage~~

37 ~~Signage must be in accordance with the following requirements. In case of conflict with the~~
38 ~~signage provisions of the underlying zoning districts, the stricter standard applies.~~

39 ~~Prohibited signs~~

40 ~~In addition to signage prohibited by Section 30-5-5.2 of the Ordinance, the following signs are~~
41 ~~prohibited in the NC Highway 68 Overlay District:~~

42 ~~Changeable copy signs (message boards), except for fuel pricing and church identification signs~~
43 ~~as allowed by Subsections (D)(4)(e) and (D)(4)(d) below;~~

44 ~~Electronic changeable copy signs, except for time and temperature signs which do not exceed~~
45 ~~fifteen square feet of copy area;~~

46 ~~Outdoor advertising signs;~~

~~Ground surface signs; and~~
~~Neon signs, but not including those attached to a window.~~
~~Freestanding Signs~~
~~Accessory freestanding signs are allowed in accordance with the following specifications:~~
~~Signs may display only the name, trademark, and registered logo;~~
~~Fuel pricing signs may display only the name, trademark, registered logo or vehicular fuel product and prices;~~
~~Church identification signs may display only the church name, service hours, and church related events;~~
~~Signage is limited to monument type signs, except for developments with two (2) or more businesses and more than twenty five thousand (25,000) square feet of gross floor area.~~
~~Limited to one (1) sign per frontage;~~
~~Maximum height:~~
~~Six (6) feet for lots with less than two hundred (200) feet of frontage; and~~
~~Fifteen (15) feet for lots exceeding two hundred (200) feet of frontage.~~
~~Maximum Area:~~
~~Fifty (50) square feet for single businesses;~~
~~Ninety (90) square feet for developments with two (2) or more businesses and twenty five thousand (25,000) square feet or less gross floor area; and~~
~~One hundred thirty five (135) square feet for developments with two (2) or more businesses and more than twenty five thousand (25,000) square feet of gross floor area.~~
~~For lots adjoining the Interstate 40 right of way, or lots located on a service road that physically adjoins the Interstate 40 right of way, freestanding signs must conform to the underlying zoning district size and height requirements of Table 30-5-5-2.~~
~~Accessory Attached Signs~~
~~Accessory attached signs are allowed in accordance with the following specifications:~~
~~Limited to one (1) sign per wall;~~
~~Maximum area of seven and one-half percent (7.5%) of the wall area not to exceed one hundred (100) square feet; and~~
~~The height of the sign may not exceed the top of the wall.~~
~~In nonresidential districts, illumination of all signage is limited to cut out letter and indirect lighting, except for wall signage in commercial districts. In commercial districts, back lit wall signage is allowed; however, signs with panels over fluorescent lighting must be opaqued.~~
~~Convenience Stores with Fuel Pumps and Gasoline Service Stations:~~
~~Buildings~~
~~Convenience store and gasoline service station buildings are allowed in compliance with the following standards:~~
~~Buildings must have hip or gable roofs with natural earth tones, white, black, or shades of gray.~~
~~Flat roofs are prohibited;~~
~~Buildings must be constructed with natural earth tone brick or with masonry which is painted with natural earth tones, white, black, or shades of gray; and~~
~~Building soffit lighting must include diffusers that minimize glare to adjoining roadways and properties. Lighting levels measured at the ground surface, a distance of twenty (20) feet from the edge of the soffit, may not exceed twenty (20) footcandles.~~
~~Canopies~~
~~All freestanding canopies must meet the requirements of Subsection (D)(6)(b) below;~~

~~The maximum area of signage affixed to each side of a canopy shall not exceed twenty (20) square feet or twenty five percent (25%) of the canopy fascia, whichever is less;~~
~~Canopy lighting shall include diffusers that minimize glare to adjoining roadways and properties.~~
~~Lighting levels measured at the ground surface, beneath the edge of the perimeter of the canopy, shall not exceed twenty (20) footcandles; and~~
~~Canopy columns shall be finished with either brick or masonry that is consistent with the principal building material.~~
~~Landscape boulders or other decorative devices shall be used near driveway entrances in lieu of steel bollards. However, bollards may be used to protect fuel pump islands.~~
~~If fuel pumps are not located to the rear of the principal building, as viewed from NC Highway 68, the street planting yard shall contain two (2) additional understory trees for every one hundred (100) linear feet. Trees and shrubs located in the street planting yard shall be equally spaced throughout the yard to achieve an effective screen.~~
Architecture
~~Corrugated metal siding is prohibited if visible from NC Highway 68 unless the siding meets the following specifications:~~
~~Corrugations on the exterior face do not exceed five sixteenths inch (5/16") in depth; and~~
~~Fasteners used to attach siding to structural members are concealed from view from the exterior.~~
~~No awnings or canopy fascias shall be internally lit.~~
~~Building and roof colors shall consist of natural earth tones, white, black, or shades of gray.~~
~~Primary colors or bright colors shall be limited to trim and signage. Day glow or neon colors shall be avoided.~~
~~Building color schemes shall blend in with surroundings. Multiple colors and garish or unusual patterns or geometric shapes shall be avoided.~~
~~Applicants are required to submit color renderings, color elevation drawings, or color photographs with the site plan or to place a note on the site plan indicating that compliance with Subsection (D)(6)(c) above shall be achieved and approved by the TRC prior to installation.~~
~~Appropriate screening shall be provided to obscure as much as reasonably possible all roof-mounted equipment, roof vents, or other unsightly building appurtenances from view from NC Highway 68.~~

(D) SCO-1 and SCO-2, Scenic Corridor Overlay District-1 and -2

~~The Scenic Corridor Overlay District 1 (SCOD-1) is hereby established as a scenic corridor overlay district. In case of conflict with the regulations of the underlying zoning district, the more restrictive requirement will govern (MAP).~~

1) Intent

- a)** The SCO-1 Scenic Corridor Overlay District-1 is intended to be applied to portions of controlled access highways between interchanges and along lesser developed sections. This overlay has more restrictive buffering and screening requirements than the SCO-2.

~~Any area annexed into the City that is located within 1,000 feet on either side of the centerline of an existing or proposed controlled access highway is included effective upon annexation.~~
~~All land located within 1,000 feet on either side of the centerline of an existing or proposed controlled access highway is included within the SCO-2 District.~~

- b) The SCO-2 Overlay District is intended to be applied to portions of controlled access highways at interchanges or in more developed areas. This overlay has less restrictive buffering and screening requirements than the SCO-1.

~~Any area annexed into the City that is located within 1,000 feet on either side of the centerline of an existing or proposed controlled access highway is included effective upon annexation.~~

2) **Applicability to Expansions of Existing Nonconforming Uses**

Once the impervious surface area of the property is increased by 25% percent of the area existing at the time of the overlay adoption (10/2/01), street protective yards containing 50% of the required width and 50% of all required plantings must be provided.

3) **Permitted Uses**

~~Subject to the provisions of this overlay zone, a~~All uses permitted in the underlying zoning districts are allowed except those listed below, which are prohibited if visible from the highway:

- a) Flea markets, outdoor;
- b) Land clearing and inert debris landfills, major;
- c) Outdoor retail sales;
- d) Outdoor storage;
- e) Salvage yards, auto parts; and
- f) Salvage yards, scrap processing.

4) **Landscaping and Buffering Requirements**

a) **Primary Buffer**

A natural undisturbed buffer must be maintained along the portion of any lot adjacent to the highway right-of-way in conformance with the following table. If there are no existing canopy or understory trees in the buffer area, then the following planting rates shall apply. If existing canopy or understory trees in the buffer area do not satisfactorily provide screening that would be similar to that achieved by the planting rates, then supplemental canopy or understory trees shall be required, as determined by the City Arborist.

SCO District	Average Buffer Width (ft.)	Max. Buffer Width (ft.)	Min. Buffer Width (ft.)	Canopy Trees (per 100 l.f.)	Understory Trees (per 100 l.f.)
SCO-1	50	75	40	9 ¹	12 ¹
SCO-2	30	50	25	5 ¹	8 ¹

Notes:

¹ The City Arborist may allow existing vegetation to be counted towards the planting requirements provided the screening is comparable to that achieved by the required plantings.

b) **Secondary Buffer**

A secondary natural undisturbed buffer meeting the following standards must be maintained for a distance of 200 feet along any street right-of-way

intersecting the highway right-of-way. This secondary buffer shall not be deemed to waive the Street Planting Yard requirement in Section XX, Street Planting Yard and the more restrictive requirement applies.

Editor's note: Need to develop graphic.

- i) The 200 foot distance requirement is measured from the intersection of the rights-of-way, however, the secondary buffer width and planting rate begins at the termination of the buffer along the highway.
- ii) The width of the secondary buffer decreases proportionately from its maximum width at the point of intersection with the buffer along the highway to its minimum width, measured 200 feet from the point of intersection, with the following planting rates:

Editor's note: Need to develop graphic.

SCO District	Max. Buffer Width (ft.)	Min. Buffer Width (ft.)	Canopy Trees (s.f. per tree)	Understory Trees (s.f. per tree)
SCO-1	50	8	555 ¹	420 ¹
SCO-2	30	8	600 ¹	375 ¹
Notes:				
¹ One tree per "X" square feet of buffer area. "X" is the number shown in the table				

~~The required street planting yard meeting the width and planting rates of Table 30-5-4-2 shall be provided along the street right-of-way intersecting the highway. The width and plantings of the street yard count toward achieving the overlay buffer requirements.~~

c) Buffer Width Reduction

If a minimum five foot high earthen berm is installed in locations where a natural buffer does not exist, the minimum, maximum, and average width of the buffer may be reduced up to the amount listed in the table below. The earthen berm must contain a rounded crown suitable for planting and a stabilized side slope of no greater than three-to-one (3:1). The following planting rates must be satisfied:

SCO District	Max. Buffer Reduction (ft.)	Canopy Trees (per 100 l.f.)	Understory Trees (s.f. per tree)
SCO-1	10	7	10
SCO-2	5	4	7

d) Planting Area Design and Installation

- i) Trees must be planted at least ten feet, but no more than 50 feet, from other trees.
- ii) Trees located within the required buffer area may be used to meet tree preservation requirements of Section XX, Tree Preservation.
- iii) No development, including improvements, buildings, structures, parking areas or open-air uses are allowed within the buffer. In approving a site plan or subdivision plat, however, streets or easements may be permitted to cross the buffer when necessary for access or provision for utilities.

iv) To allow an existing or new development to preserve the required natural undisturbed buffer area, the Planning Director may approve a Type 1 Modification (see Section 30-4-11, Minor Modifications) allowing a reduction in the number of required off-street parking spaces ~~may be reduced by the City Urban Forester or Enforcement Officer~~ by up to ten percent if requested by the applicant.

v) The total required buffer area may not exceed 20% of the total site. If it is necessary to reduce the buffer area, the secondary buffer area along any street right-of-way intersecting the highway must be reduced first.

vi) Where unreasonable or impractical situations result from application of buffer or planting requirements, alternate methods of compliance may be used as described in subsection e), Alternate Compliance in the SCO-2 District, below.

e) Alternate Compliance in the SCO-2 District

The following requirements are an alternative to the buffer-Primary Buffer requirements described in Subsection 30-7-8.7(D)4)a) above, and must be approved by the TRC prior to installation.

i) A street planting yard must be maintained along the portion of any lot adjacent to the highway right-of-way in conformance with the table below.

SCO District	Average Planting Yard Width (ft.)	Max. Planting Yard Width (ft.)	Min. Planting Yard Width (ft.)	Canopy Trees (per 100 l.f.)	Understory Trees (per 100 l.f.)	Shrubs (per 100 l.f.)
SCO-2	30	50	20	<u>5+4^{1,2}</u>	<u>8+4^{1,2}</u>	33 ^{1,3}
Notes: ¹ The City Arborist may allow existing vegetation to be counted towards the planting requirements provided screening comparable to that achieved by the planting rates is required. ² Trees must be planted at least ten feet, but no more than 75 feet from other trees. ³ Shrubs must be planted three feet on center.						

ii) Parking lot planting areas containing trees must be installed and maintained. Each parking lot planting area must have a minimum inside dimension of seven feet and must have a minimum area of at least 200 square feet. Each parking space must be entirely within the designated distance of a parking lot planter as specified below:

Size of Parking Lot Planter (sq. ft.)	Number of Trees in Planter	Max. Distance (ft.)
200 - 499	1	80
500 - 899	3	110
Over 900	5	130

- iii) Based on the total number of parking spaces provided, the following parking lot planting rates must be used:

Percentage of Parking Spaces Exceeding The Minimum Requirement	Canopy Tree Planting Rate
0 - 3.9	1/10 parking spaces
4.0 - 6.9	1/9 parking spaces
7.0 - 9.9	1/8 parking spaces
10 or greater	1/10 required parking spaces and 1/1 parking space in excess of minimum requirement.

5) Signage

Signage must conform to the following requirements. In case of conflict with the signage provisions of the underlying zoning districts, the stricter standard governs.

- a) In addition to signage prohibited by Section XX, Prohibited Signs the following signs are prohibited:

- i) Outdoor advertising signs;
- ii) Ground surface signs; and
- iii) Neon signs, but not including those attached to a window.

- b) Freestanding signage is limited to one monument type sign per frontage as specified below:

Development Size (square feet)	Maximum Height (feet)	Maximum Size (square feet)
Less than 25,000	6	50
25,000 - 49,999	10	90
50,000 - 100,000	15	140
Greater than 100,000	20	200

- c) In C-H zoning or in Integrated Multiple Use Developments, freestanding signage for each outparcel is limited to one monument sign meeting the size and height requirements of Table XX, Specifications for Freestanding Signs Requiring a Permit. When located in an SCO-2 District, the following additional requirements apply to all freestanding signage visible from the highway:

- i) A decorative sign base and surrounding frame must be constructed with a material that is the same as or similar to the majority of the material used for the principal building(s).
- ii) A defined landscaped area must be provided at the base of the sign, parallel to the face(s) of the sign. The required landscaped area must be at least 50 square feet in area. For signs with multiple faces, the landscaped area must be designed so that a portion of the required landscaping is located in front of each sign face.

- iii) The required landscaped area must contain materials such as, but not limited to, vegetative ground covers, perennials, shrubs, and ornamental trees covering at least 50% of the defined landscaped area at maturity. A plan of the landscaped area indicating the species, quantity, and spacing of plant materials must be included as a part of the sign permit application.
- d) In nonresidential districts, illumination of all signage is limited to cut-out letter and indirect lighting, except for wall signage in commercial districts. In commercial districts, back lit wall signage is permitted; however, signs with panels over fluorescent lighting must be opaqued.
- e) Freestanding signage is not permitted in protective buffer area(s) except at access points.

6) Access Management

- a) Major or minor thoroughfares that intersect the highway must have a minimum of 500 feet of corner clearance when determined to be practical by NCDOT or GDOT; and
- b) Local, collector or sub-collector streets that intersect the highway must have a minimum of 200 feet of corner clearance when determined to be practical by NCDOT or GDOT.

7) Architectural Standards in the SCO-2 District

- a) Buildings must be finished with one or more of the following materials:
 - i) Brick and brick veneer;
 - ii) Stone, stone veneer, and cultured stone;
 - iii) Precast or field-poured tilt concrete panels with texture and architectural detailing;
 - iv) Stucco with architectural detailing;
 - v) Wood and wood materials designed and intended for use as exterior finish material; and
 - vi) Vinyl siding with architectural detailing and a specified architectural style may be used solely for residential buildings. [Amended 9-05 based on email from B. Ruska]
- b) No portion of any building visible from the highway may have an expanse wider than 50 feet or higher than 20 feet without detail or articulation. Large, flat blank expanses are not acceptable.
- c) The architectural style and color of new buildings must be similar to and compatible with surroundings.
- d) No awnings or canopy fascias may be internally lit.
- e) Appropriate screening must be provided to obscure ~~as much as reasonably possible~~ all roof-mounted equipment, roof vents, or other unsightly building appurtenances.

8) Convenience Stores with Fuel Pumps and Gasoline Service Stations in the SCO-2 District

- a) Buildings must be constructed with brick or masonry..
- b) Buildings shall have hip or gable roofs. Flat roofs are prohibited.
- c) Canopy columns must be finished with either brick or masonry that is consistent with the principal building material.
- d) The maximum area of signage affixed to each side of a canopy may not exceed 20 square feet or 25% of the canopy fascia, whichever is less.
- e) Fuel pricing signs may display only the name, trademark, registered logo or vehicular fuel product and prices.
- f) If fuel pumps are not located to the rear of the principal building, as viewed from the highway, the street planting yard must contain two additional understory trees for every 100 linear feet of planting yard. Trees and shrubs located in the street planting yard must be equally spaced throughout the yard to achieve an effective screen.
- g) Parking lot and perimeter lighting levels measured at the edge of the property may not exceed two footcandles.

9) Additional Requirements

- a) Within the SCO-1 District, structures may not exceed 80 feet in height within 500 feet of the highway right-of-way, as measured from the base of the building at the finished grade or from the adjacent highway grade, whichever is higher, to the top of the highest component of the building.
- b) Loading areas, docks, and doors must be screened ~~as much as reasonably possible~~ from ground level view from the highway.
- c) Building and roof colors must consist of natural earth tones, white, black, or shades of gray. Primary colors or bright colors must be limited to trim and signage. Day glow or neon colors shall be avoided. This Subsection does not apply to residentially zoned property. To demonstrate conformance with this requirement, applicants must submit color renderings, color elevation drawings, or color photographs with the site plan or to place a note on the site plan indicating that compliance will be achieved and approved by the TRC prior to installation.
- d) All outdoor lighting must include diffusers or minimal wattage bulbs that minimize glare to adjoining roadways and properties. ~~This Subsection shall not apply to residentially zoned property.~~
- e) All new on-site utilities must be located underground unless required by the utility to be otherwise.

Editor's note: Standards for the SCO-3 & 4 Districts are under development and are not included at this time.

(E) SCO-3 Scenic Corridor Overlay District-3 Standards

[Reserved]

(F) SCO-4 Scenic Corridor Overlay District-4 Standards

[Reserved]

~~The specific development requirements of a particular scenic corridor overlay district shall apply uniformly to all property within said district, as specified in the officially adopted corridor plan and this section.~~

30-7-8.8 -AO, Airport Overlay District

(A) Establishment

The AO- Airport Overlay District is hereby established to protect certain areas around the Piedmont Triad International (PTI) Airport from inappropriate development.

(B) District Standards

All development within an Airport Overlay District must comply with the following:

- 1) No structure may exceed the height limits delineated on the Approach and Clear Zone Plan in the PTI Airport Master Plan.
- 2) Residential uses are prohibited with the exception of single family detached dwellings on lots that are at least 40,000 square feet in area.

~~Within the Airport Overlay District, no residential uses shall be permitted except single family detached dwellings on lots which are forty thousand (40,000) square feet or larger in area. No structure shall be erected which exceeds the height limits delineated on the Approach and Clear Zone Plan in the PTI Airport Master Plan.~~

30-7-8.9 -MHO, Manufactured Housing Overlay Districts

~~Authority~~

~~Manufactured Housing Districts may be established as authorized by NCGS Article 19, Section 160A.383.1(e) and this Ordinance.~~

(A) Designation of a Manufactured Housing Overlay District

- 1) A Manufactured Housing Overlay District may be established as provided in Section 30-4-8.1.
- 2) A Manufactured Housing Overlay District may be established only in a Residential base zoning district.

(B) Standards

1) Minimum Development Size

Within a Manufactured Housing Overlay District, the minimum development size is:

- a)** Ten existing contiguous lots covering at least 90,000 square feet, excluding public street right-of-way; or
- b)** 120,000 square feet of land, excluding public street right-of-way.

~~Class AA manufactured dwellings may be permitted on single family lots in any residential district provided overlay district zoning is approved by the City Council and each manufactured dwelling:~~

2) Minimum Dwelling Standards

A manufactured dwelling must:

- a) Be used as a single family dwelling;
- b) Be at least 16 feet wide;
- c) Have a minimum of 1,000 square feet of enclosed and heated space;
- d) Have a length not exceeding four times its width (length is measured along the longest axis and width is measured perpendicular to the longest axis at the narrowest part);
- e) Have a minimum roof pitch of three and one-half feet of vertical rise for each 12 feet of horizontal run;
- f) Have an eave projection for all roof structures of at least than six inches, which may include a gutter;
- g) Have exterior siding comparable in composition, appearance, and durability to the exterior siding commonly used in standard residential construction, consisting of one or more of the following:
 - i) Vinyl or aluminum lap siding (whose reflectivity does not exceed that of flat white paint);
 - ii) Cedar or other wood siding;
 - iii) Wood grain, weather-resistant press board siding;
 - iv) Stucco siding; or
 - v) Brick or stone siding;
- h) Have a roof finished with a Class C or better roofing material that is commonly used in standard residential construction;
- i) Have stairs, porches, entrance platforms, ramps, and other means of entrance and exit installed or constructed in accordance with the standards set forth in the NC Building Code. These must be attached firmly to the primary structure and anchored securely to the ground. Wood stairs may only be used in conjunction with a porch or entrance platform that is at least 24 square feet in area;
- j) Have the towing apparatus, wheels, axles, and transporting lights removed. These may not be included in length and width measurements;
- k) Have the longest axis oriented parallel or within a ten degree deflection of being parallel to the lot frontage. ~~The Board of Adjustment may, unless other orientation is permitted as a special exception by the Board of Adjustment following a public hearing, The Technical Review Committee may approve a Type 2 Modification (see Section 30-4-11, Minor Modification) allowing alternative positioning on the site; and~~
- l) Be set up in accordance with the standards established by the NC Department of Insurance. In addition, a continuous, permanent masonry foundation or masonry curtain wall constructed in accordance with the standards of the NC Building Code for One- and Two-Family Dwellings, unpierced except for required ventilation and access, ~~shall~~ must be installed under the perimeter of the dwelling.